Town of Camden Board of Adjustment

Wednesday, May 20, 2020 at 6:30 Camden Municipal Complex

Camden Muñicipal Complex 1783 Friends Way Camden, DE 19934

AGENDA

CALL TO ORDER

- a. Pledge of Allegiance
- b. Roll Call
- c. Notice of Public Hearing:

"In compliance with Delaware State Law, advance notice had been posted in the following manner on May 6, 2020:

- The electronic sign,
- The Official Bulletin Board, and
- The official Town of Camden Web Site
- The Delaware State News & The Dover Post

OUL

MINUTES

d. November 20, 2019-Regular Meeting Minutes

NEW BUSINESS

- East St parcel, McDonald's Restaurant, 7-02-094.00-01-15.02-000, application submitted for relief from allowed number of sign quantity for three wall signs & area to a maximum size of 33 plus square feet for each.
- East St parcel, McDonald's Restaurant, 7-02-094.00-01-15.02-000, Relief from allowed parking spaces to a minimum of 43.
- East St parcel, McDonald's Restaurant, 7-02-094.00-01-15.02-000, Relief to allow minimum area for parking stalls to 180 plus square feet.
- East St parcel, McDonald's Restaurant, 7-02-094.00-01-15.02-000, Relief from planted islands for every 10 parking spaces, as the greatest parking row length is 12 spaces.

The agenda shall be subject to changes, which arise at the time of the meeting/hearing. Formal official action may be taken at such meetings on any and all business involving the Board of Adjustment. Any person needing special accommodations please contact the Town Hall at 697-2299 at least 72 hours in advance of scheduled meeting. In order to be on the agenda for the next meeting please submit your request in writing thirty (30) days prior to the next meeting.

POSTED: May 6, 2020

Next Regular Scheduled Meeting June 17, 2020

Town of Camden Board of Adjustment Meeting Camden Municipal Building November 20, 2019

CALL TO ORDER

Commissioner Torres called the meeting to order at 6:30 p.m. and noticed that this regular Board of Adjustment meeting is being held in compliance with Delaware Open Public Meeting Act by posting the agenda on November 13, 2019, in the following manner:

- The official bulletin boards;
- Posted on the official electronic sign; and
- Posted on the official website

Member Torres led attendees in the Pledge of Allegiance.

Members Attending: Commissioner Badger, Commissioner Torres, and Commissioner Kelly.

Members absent: Chairman Prystajko

Staff Attending: Town Clerk Jamie Fenske and Code Enforcement Officer Harold Scott Jr

MINUTES

Motion made by Commissioner Badger seconded by Commissioner Kelly, to approve the October 16, 2019 regular meeting minutes. All in favor; none opposed.

NEW BUSINESS

2035 S Dupont Hyw, S Dupont Hwy, 7 Howell Street, and 16 Asbury Ave; parcels 7-00-085.20-01-30.00-000, 31.00, 32.00, 33.00, application submitted for relief from number of parking spaces.

Johnathan Street from Becker and Morgan explained that they are requesting a variance for the properties that are newly annexed into the Town of Camden. These properties are located between Pizzadili and Auto Zone. The code requires them to have a total of 149 spaces and they are asking for a variance to allow only 30 spaces.

Mr. Street stated that due to the shape and size of the lot it makes it hard to have the required number of spaces. Dollar Generals goal is to accommodate it's customers as much as possible and to provide parking that is close to the store. He added that they have performed studies and found that 25 is sufficient parking for their stores. Also they would like to preserve as many of the existing trees as possible.

Commissioner Torres explained that he has reviewed the plans and the site and that he has no questions and is in favor of the variance.

Commissioner Badger questioned staff on their recommendation.

Town of Camden November 20, 2019

Ms. Fenske replied that the Town staff has reviewed the application and recommends the approval of the variance as submitted.

A motion was made by Commissioner Badger, seconded by Commissioner Kelly, to relief from the number of parking spaces required for 2035 S Dupont Hwy, Dupont Hwy, 7 Howell St, 16 Asbury Ave, parcels 7-00-085.20-01-30.00-000, 31.00, 32.00, 33.00. All in favor, motion carries.

ADJOURNMENT

At 6:56 a motion was made by Commissioner Badger, seconded by Commissioner Kelly to adjourn the meeting. All in favor; none opposed.

Respectfully submitted, Jamie Fenske, Town Clerk



LAND USE APPLICATION

Cover sheet for applications to Planning Commission, Town Council or Board of Adjustment

Please check the appropriate action(s)

Date: 2/18/2020

SITE PLAN FEE: SEE BELOW		CONDITIONAL USE FEE: SEE BELOW		ZONING AMENDMENT FEE: SEE BELOW		VARIANCE FEE: \$200.00
MINIMUM FEE: \$275.00 PLUS \$10.00 PER 1,000 SQUARE FT. OF FLOOF AREA FOR BUSINESS, COMMERCIAL AND INDUSTRIAL BUILDIN	R	\$200.00 PLUS \$10.00 PER DWELLI UNIT FOR: 1. Residential Cluster 2. Developments 3. Townhouses 4. Townhouse Developments 5. Two-Family and Multi-Fa Dwellings 6. Multi-Family/Condominiu Developments 7. Mobile or Manufactured F Parks 8. Subdivisions	s mily um	FROM ANY DISTRICT TO RESIDENTIAL \$50.00 PLUS \$ 5.00 P ACRE OR PART OF AN ACRE \$1,25 MAXIMUM FEE. FROM ANY DISTRICT TO COMMERCIAL \$75.00 PLUS \$ 15.00 ACRE OR PART OF AN ACRE \$750. MAXIMUM FEE. FROM ANY DISTRICT TO INDUSTI \$150.00 PLUS \$ 20.00 PER ACRE OR PART OF AN ACRE \$1,000.00 MAXIMUM FEE. FROM ANY DISTRICT TO PRESERVATION \$10.00 PLUS \$1.00 ACRE OR PART OF AN ACRE \$100. MAXIMUM FEE.	PER 00 PER	FEE: \$200.00 APPEAL: \$200.00
requests the Camden Plan Commission to grant Site Approval.		The undersigned hereby rec Town Council Approval of a Plan for a Conditional Use.		The undersigned petitions Town Couramend the Zoning District Map.	ncil to	The undersigned hereby petitions the Board of Adjustment to grant a variance.
Property address: Property location: Corne Lot number, subdivision name or other identification		outh Dupont Highway & Ro	ad A 8	& East Street		
Name and address of lega	l owne			,, L.L, 27690 Sterling Blvd., Millsboro	, DE 1	9966
Lessee, Attorney, Enginee	er, or o	ther interested party: Bohler E	ngine oastal	ering VA, LLC I Highway, Suite D, Rehoboth Beach,	DE 19	971
Present Zoning District:	C-2 (H	lighway Commercial District		Present Use: Vacant		
Proposed Zoning District:	: C-2 (Highway Commercial Distric	ct	Proposed Use: Commercial	/ McD	onald's Restaurant
Description of property su	ıbject t	o this request:				
Area: 55,536 SF (1.28)	Ac.)			Width: 183'		
Depth: 305'				Setback: 40' Front, 15! Sid	e, 20' F	Rear

TOWN OF CAMDEN LAND USE APPLICATION

Area of any adjacent property that is under the same ownership:

Existing Sanitary facilities: CWSWA		Existing Water Supply: CWSWA	
Proposed sanitary facilities: CWSWA		Proposed water supply: CWSWA	
Please describe any proposed new con	struction to be erected on the property		
Number of parking spaces: 43	Building size: 4,540 SF	Building height: 1 story	
Units per acre: 1	Number of units:1	Number of buildings: 1	

Applications to Planning Commission, Town Council or Board of Adjustment

Variance from Section 240-32 of the Town of Camden Sign Ordinance for relief related to the following: Section F: - Relief to allow in excess of allowable sign quantity for three wall signs & area to a maximum size of 33± SF for early a section F: - Relief to allow in excess of allowable sign quantity for three wall signs & area to a maximum size of 33± SF for early a section E: - Relief to allow minimum number of parking Ordinance for relief related to the following: Section D: - Relief to allow minimum area for parking spaces to be 43 total, which is \$\beta\$ below the calculated minimum of 49. Section E: - Relief to allow minimum area for parking stalls to 180± SF. Variance from Section 240-33 of the Town of Camden Landscaping/Screening Ordinance for relief related to the following: Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is \$\frac{1}{2}\$ spaces. Please list all attachments and documentation applicable to request: Coverletter Site Plan	YNOPSIS OF	FREQUEST TO INCLUDE REASON(S) FOR APPLICATION:
Variance from Section 240-30 of the Town of Camden Parking Ordinance for relief related to the following: Section D: - Relief to allow minimum number of parking spaces to be 48 total, which is \$\psi\$ below the calculated minimum of 49. Section E: - Relief to allow minimum area for parking stalls to 180± SF. Variance from Section 240-33 of the Town of Camden Landscaping/Screening Ordinance for relief related to the following: Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is \$\frac{1}{2}\$ spaces. lease list all attachments and documentation applicable to request: Coverletter Site Plan	Variance fro	om Section 240-32 of the Town of Camden Sign Ordinance for relief related to the following:
Section D: - Relief to allow minimum number of parking spaces to be 43 total, which is 5 below the calculated minimum of 49. Section E: - Relief to allow minimum area for parking stalls to 180 ± SF. Variance from Section 240-33 of the Town of Camden Landscaping/Screening Ordinance for relief related to the following: Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is 5 spaces. lease list all attachments and documentation applicable to request: Coverletter Site Plan	Section	n F: - Relief to allow in excess of allowable sign quantity for three wall signs & area to a maximum size of 33± SF for ear
Section E: - Relief to allow minimum area for parking stalls to 180± SF. Variance from Section 240-33 of the Town of Camden Landscaping/Screening Ordinance for relief related to the following: Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is spaces. Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is spaces. Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is spaces. Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is spaces. Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is spaces.	Variance fro	om Section 240-30 of the Town of Camden Parking Ordinance for relief related to the following:
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Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is spaces. Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is spaces. Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is spaces. Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is spaces.	Section	E: - Relief to allow minimum area for parking stalls to 180± SF,
ease list all attachments and documentation applicable to request: Coverletter Site Plan	Variance fr	om Section 240-33 of the Town of Camden Landscaping/Screening Ordinance for relief related to the following:
Coverletter Site Plan	Sectio	n I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is 15/2 spaces.
Coverletter Site Plan		
Site Plan	lease list all at	tachments and documentation applicable to request:
	Coverletter	
Deview Foo	Site Plan	
Review Fee	Review Fee	

	I/We certify that the above information and any attached information is true and correct to the best of my/our knowledge.
	Signature of legal owner (if not applicant)
	Signature of applicant: McPonald's USA LLC.
100	
	Cover sheet for applications to Planning Commission, Town Council or Board of Adjustment

FOR OFFICE USE ONLY						
Application or Petition Number:	Zoning District Map Number:					
Site Plan Number:	Modified Grid Number:					
SITE PLA	N REVIEW:					
Preliminary site plan reviewed by:	Date:					
Recommendation:						
HEARING AND MI	EETING SUMMARY:					
Planning Commission Hearing Date:	Planning Commission Meeting Date:					
Action taken by Planning Commission:						
Town Council Hearing Date:						
Action taken by Town Council:						
Board of Adjustment Hearing Date:						
Action taken by Board of Adjustment:						
Appeal Board of Adjustment Date:						
Result of Appeal:						

TOWN OF CAMDEN LAND USE APPLICATION

Page 3 of 4

FEE COLLECTION RECORD:

Amount received: \$	
Ву:	
Date: ,	
Payment Method:	

FEE SCHEDULE INCREASE EFFECTIVE JULY 1, 2001

AMENDMENT TO ZONING DISTRICT MAP APPLICATIONS*						
FROM	то	MINIMUM FEE	PER ACRE OR PART OF AN ACRE	MAXIMUM FEE		
ANY DISTRICT	RESIDENTIAL	\$ 50.00	PLUS \$ 5.00	\$1,250.00		
ANY DISTRICT	COMMERCIAL	\$ 75.00	PLUS \$15.00	\$ 750.00		
ANY DISTRICT	INDUSTRIAL	\$150.00	PLUS \$20.00	\$1,000.00		
ANY DISTRICT	PRESERVATION	\$ 10.00	PLUS \$ 1.00	\$ 100.00		

CONDITIONAL USE APPLICATIONS*				
	PLUS \$10.00 PER DWELLING UNIT FOR:			
	9. Residential Cluster			
	10. Developments			
	11. Townhouses			
\$200.00	12. Townhouse Developments			
\$200.00	13. Two-Family and Multi-Family Dwellings			
	14. Multi-Family/Condominium Developments			
	15. Mobile or Manufactured Home Parks			
	16. Subdivisions			

APPROVAL OF SITE PLAN APPLICATIONS*					
(OTHER THAN CONDITIONAL USES)					
MINIMUM FEE FILING FEE					
\$275.00	PLUS \$10.00 Per 1,000 square ft. of floor area for business, commercial, and industrial buildings.				

•	VARIANCE APPLICATIONS*
	\$200.00
	APPEALS*
\$200.00	(Refundable if board finds in favor of applicant)

*ALL APPLICATIONS MUST BE COMPLETE AND SUBMITTED WITH PAYMENT FOR CONSIDERATION

PRELIMINARY SITE PLANS

SITE DATA

1. TAX MAP #: 7-02-09400-01-1502-0001
DEED REF.: DB 7305/0070 & DB 3261/0303
OWNER CARL P. KING REAL ESTATE, LLC
TOTAL EXISTING SITE AREA: 1.28± AC
TOTAL PROPOSED AREA: 1.28± AC

2. ZONE: EXISTING ZONE: C-2 PROPOSED ZONE: C-2

EXISTING USE: VACANT
PROPOSED USE: RESTAURANT WITH DRIVE THROUGH, MCDONALD'S (PERMITTED BY RIGHT)

3. OWNER: CARL P. KING REAL ESTATE, L.L 27690 STERLING BLVD MILLSBORO, DE 19966

MILLSBORO, DE 19966 CONTACT: BRUCE KING

4. APPLICANT:
MCDONALD'S USA, LLC
6903 ROCKLEDGE DRIVE, SUITE 1100
BETHESDA, MD 20817
CONTACT: JOHNATHAN BASKE
PHONE: (609)-3383622

5. ENGINEER:
BOHLER ENGINEERING
18958 COASTAL HIGHWAY, SUITE D
REHOBOTH BEACH. DE 19971

PHONE: (302) 644-1155
6. EXISTING CONDITIONS INFORMATION REFERENCED HEREIN BY A PLAN/SURVEY/REPORT COMPLETED BY:

A. BOUNDARY AND TOPO SURVEY
CONTROL POINT ASSOCIATES, INC.

1600 MANOR DRIVE, SUITE 210 CHALFONT, PA 18194 REVISED: 11/18/19

CONTACT: STEVEN T. FORTUNATO, P.E.

REVISED: 11/18/19 HORIZONTAL DATUM: NAD 83, VERTICAL DATUM: NAVD 88

- 7. ACCORDING TO THE NATIONAL WETLANDS INVENTORY MAPPING, THERE ARE NO WETLANDS PRESENT ON THIS SITE.
- 8. THE SITE IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP#10001C0231H, REVISED MAY 5, 2003. THE SITE IS WITHIN ZONE X (APEAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL ELOOD PLAIN)
- THIS SITE IS SERVED BY A REGIONAL STORMWATER MANAGEMENT SYSTEM. STORMWATER MANAGEMENT FACILITIES WILL NOT BE CONSTRUCTED AS PART OF THIS PROJECT. DRAINAGE AND EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH THE DELAWARE SEDIMENT & STORMWATER REGULATIONS (LATEST EDITION). MAINTENANCE OF DRAINAGE AND SEDIMENT & EROSION CONTROL PRACTICES SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR DURING THE CONSTRUCTION PHASE OF THE PROJECT, INCLUDING CONSTRUCTION OF THE UTILITIES WHEN PERMANENT DRAINAGE FACILITIES HAVE BEEN COMPLETED TO THE SATISFACTION OF THE APPLICABLE AGENCIES, MAINTENANCE SHALL ULTIMATELY BECOME THE RESPONSIBILITY OF THE PROPERTY OWNER. THE KENT CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURE AS DEEMED NECESSARY.
- 10. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF OPEN SPACE, INCLUDING STORMWATER MANAGEMENT, COMMON, BUFFER AND LANDSCAPED AREAS.
- 11. WATER SUPPLY FOR THIS SITE IS TO BE PROVIDED BY THE CAMDEN-WYOMING SEWER & WATER AUTHORITY AND IS SUBJECT TO THE APPROVAL OF THE CAMDEN-WYOMING SEWER & WATER AUTHORITY, DELAWARE DIVISION OF PUBLIC HEALTH, OFFICE OF DRINKING WATER, DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND/OR THE TOWN OF CAMDEN.
- 12. WASTEWATER TREATMENT FOR THIS SITE IS TO BE PROVIDED BY KENT COUNTY AND IS SUBJECT TO THE APPROVAL OF THE KENT COUNTY PUBLIC WORKS DEPARTMENT AND/OR DNREC.
- 13. PRELIMINARY SOIL INVESTIGATIONS INDICATE THE PRESENCE OF SOIL TYPE SIA (SASSAFRAS LOAM, 0 TO 2% SLOPES) AND SacB (SASSAFRAS SANDY LOAM, 2 TO 5% SLOPES) PER THE USDA ONLINE SOIL MAPPING SERVICE.
- 14. ZONING AND PRESENT LAND USE INFORMATION FOR ADJOINING PROPERTIES OBTAINED FROM THE TOWN OF CAMDEN AND KENT COUNTY ONLINE MAP AND ARE CURRENT TO THE DATE NOTED ON THIS SUBMITTAL.
- 15. STRUCTURE: WOOD LOAD BEARING WALLS AND WOOD ROOF FRAMING CONSTRUCTION TYPE: VB

16. THE FOLLOWING VARIANCES WILL BE REQUESTED:

16.1. VARIANCE FROM SECTION 240-32 OF THE TOWN OF CAMDEN SIGN ORDINANCE FOR RELIEF RELATED TO THE FOLLOWING:

SECTION F: - RELIEF TO ALLOW IN EXCESS OF ALLOWABLE SIGN QUANTITY FOR SIX WALL SIGNS & AREA TO A MAXIMUM SIZE OF 33± SF FOR EACH.

16.2. VARIANCE FROM SECTION 240-30 OF THE TOWN OF CAMDEN PARKING ORDINANCE FOR RELIEF RELATED TO THE

SECTION D: - RELIEF TO ALLOW MINIMUM NUMBER OF PARKING SPACES TO BE 42 TOTAL, WHICH IS 7 BELOW THE CALCULATED MINIMUM OF 49.

SECTION E: - RELIEF TO ALLOW MINIMUM AREA FOR PARKING STALLS TO 180± SF.

6.3. VARIANCE FROM SECTION 240-33 OF THE TOWN OF CAMDEN LANDSCAPING/SCREENING ORDINANCE FOR RELIEF RELATED TO THE FOLLOWING::

SECTION I: - RELIEF FROM PLANTED ISLANDS FOR EVERY 10 PARKING SPACES, AS THE GREATEST PARKING ROWLENCTH IS 15 SPACES.

PLAN REFERENCES AND CONTACTS REFERENCES • BOUNDARY & TOPOGRAPHIC OVER DE 19904

1600 MANOR DRIVE, SUITE 210 CHALFONT, PA 18914 DELMARVA POWER/PREMIER DATED: 11/18/2019 (REV. 1) JOB # /SURVEY JOB # CARNEYS POINT, NJ 08069 (866) 634-55**71 (P)** (856) 351-7523 (F) **GOVERNING AGENCIES** KENT CONSERVATION DISTRICT DNREC, DIVISION OF SOIL AND JARED ADKINS, P.E. WATER CONSERVATION 800 BAY ROAD, SUITE 2 SEDIMENT AND STORMWATER **PROGRAM**

| CAMPEN | CAMPEN | CAMPEN | CAMPEN | CAMPEN | CED | C

1783 FRIENDS WAY
CAMDEN, DE 19934
(302) 697-2299 (P)
(302) 697-9115 (F)

CAMDEN-WYOMING SEWER &

CAMDEN-WYOMING SEWER &
WATER AUTHORITY
SOHEIL GHAREBAGHI, P.E.
P.O. BOX 405
CAMDEN-WYOMING, DE 19934
(302) 697-6372 (P)
(302) 697-2735 (F)

DOVER, DE 19901
(302) 741-2600, EXT. 3 (P)
(302) 741-0347 (F)

STATE FIRE MARSHAL
WILLIAM KELLY
1537 CHESTNUT GROVE ROAD
DOVER, DE 19904
(302) 739-4394 (P)
(302) 739-3696 (F)

VERIZON
(866) 397-5153 (P)

& COMCAST/PREMIER
(603) 628-3898 (P)

KENT COUNTY DEPARTMENT

KENT COUNTY DEPARTMENT OF PUBLIC WORKS 555 BAY ROAD DOVER, DE 19901 PHONE: (302) 744-2430

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

GENERAL NOTE:

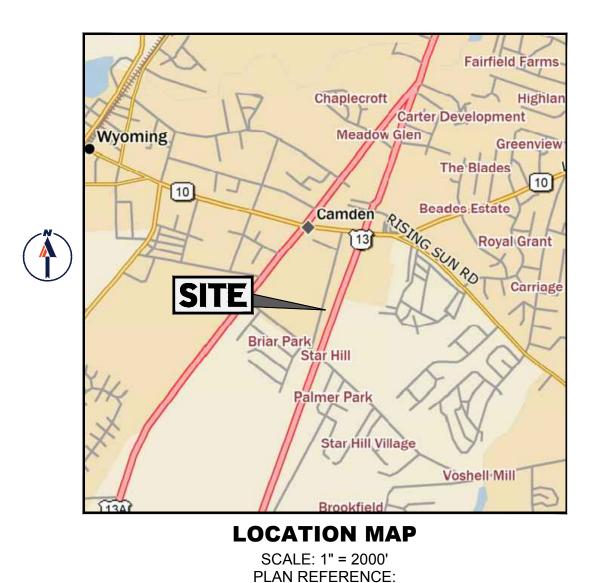
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN

MCDONALD'S USA, LLC.

PROPOSED

RESTAURANT WITH DRIVE-THRU

LOCATION OF SITE
EAST STREET, TOWN OF CAMDEN
KENT COUNTY, DELAWARE
TAX MAP#: 7-02-09400-01-1502-00001



Copyright 2009
DELORME STREET ATLAS USA 2009 PLUS
OWNER

RL P. KING REAL ESTATE, L.L
27690 STERLING BLVD
MILLSBORO, DE 19966
BRUCE KING

APPLICANT

MCDONALD'S USA, LLC
6903 ROCKLEDGE DRIVE, SUITE 1100
BETHESDA, MD 20817
JOHNATHAN BASKE
PHONE: (609)-3383622

PREPARED BY



SHEET INDEX				
SHEET TITLE	SHEET NUMBER			
COVER SHEET	C-101			
DEMOLITION PLAN	C-201			
SITE PLAN	C-301			
GRADING PLAN	C-401			
UTILITY PLAN	C-501			
LANDSCAPE PLAN	C-701			
LANDSCAPE DETAILS	C-702			
LIGHTING PLAN (BY OTHERS)	1 OF 1			

OWNERS CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT.

EAL ESTATE, L.L.		

SITE DESIGNER/ENGINEER CERTIFICATION

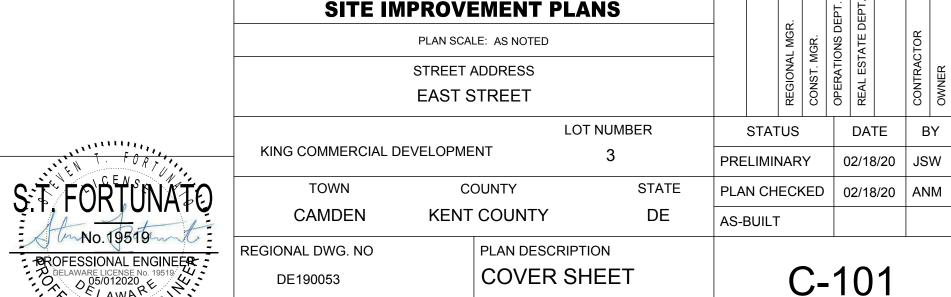
I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER WITH A BACKGROUND IN CIVIL ENGINEERING IN THE STATE OF DELAWARE AND THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE LOCAL AND STATE REGULATIONS AND ORDINANCES.

STEVEN T. FORTUNATO, P.E. BOHLER 18958 SOASTAL HWY, SUITE D REHOBOTH BEACH, DE 19971

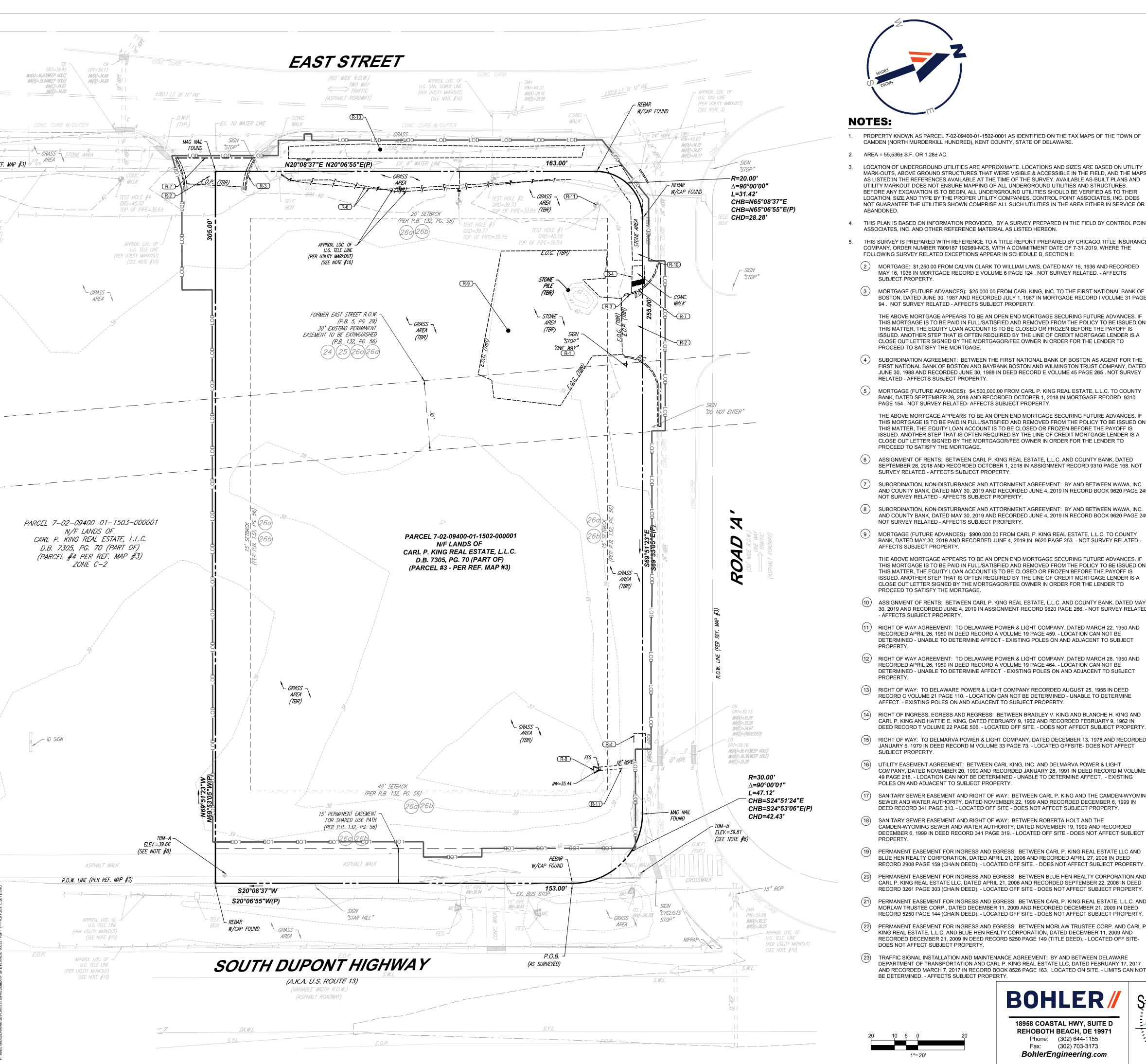
BRUCE KING CARL P. KING F

IT HEREBY IS CERTIFIED THAT THIS SUBDIVISION PLOT PLAN WAS GRANTED FINAL APPROVAL BY THE TOWN OF CAMDEN, DELAWARE, ON _____ AND ACCORDINGL IS ELIGIBLE FOR RECORDING IN THE OFFICE OF THE RECORDER OF DEEDS FOR KENT COUNTY, DELAWARE.

MAYOR OR DESIGNEE









- PROPERTY KNOWN AS PARCEL 7-02-09400-01-1502-0001 AS IDENTIFIED ON THE TAX MAPS OF THE TOWN OF CAMDEN (NORTH MURDERKILL HUNDRED), KENT COUNTY, STATE OF DELAWARE.
- 2. AREA = 55,536± S.F. OR 1.28± AC.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS. ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD. AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR
- 4. THIS PLAN IS BASED ON INFORMATION PROVIDED, BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 7809187 192989-NCS, WITH A COMMITMENT DATE OF 7-31-2019. WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II:
- (2) MORTGAGE: \$1,250.00 FROM CALVIN CLARK TO WILLIAM LAWS, DATED MAY 16, 1936 AND RECORDED MAY 16, 1936 IN MORTGAGE RECORD E VOLUME 6 PAGE 124 . NOT SURVEY RELATED. - AFFECTS
- (3) MORTGAGE (FUTURE ADVANCES): \$25,000.00 FROM CARL KING, INC. TO THE FIRST NATIONAL BANK OF BOSTON. DATED JUNE 30, 1987 AND RECORDED JULY 1, 1987 IN MORTGAGE RECORD I VOLUME 31 PAGE 94 . NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
 - THE ABOVE MORTGAGE APPEARS TO BE AN OPEN END MORTGAGE SECURING FUTURE ADVANCES. IF THIS MORTGAGE IS TO BE PAID IN FULL/SATISFIED AND REMOVED FROM THE POLICY TO BE ISSUED ON THIS MATTER. THE EQUITY LOAN ACCOUNT IS TO BE CLOSED OR FROZEN BEFORE THE PAYOFF IS ISSUED. ANOTHER STEP THAT IS OFTEN REQUIRED BY THE LINE OF CREDIT MORTGAGE LENDER IS A CLOSE OUT LETTER SIGNED BY THE MORTGAGOR/FEE OWNER IN ORDER FOR THE LENDER TO PROCEED TO SATISFY THE MORTGAGE.
- SUBORDINATION AGREEMENT: BETWEEN THE FIRST NATIONAL BANK OF BOSTON AS AGENT FOR THE FIRST NATIONAL BANK OF BOSTON AND BAYBANK BOSTON AND WILMINGTON TRUST COMPANY, DATED JUNE 30, 1988 AND RECORDED JUNE 30, 1988 IN DEED RECORD E VOLUME 45 PAGE 265 . NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
- (5) MORTGAGE (FUTURE ADVANCES): \$4,500,000.00 FROM CARL P. KING REAL ESTATE, L.L.C. TO COUNTY BANK, DATED SEPTEMBER 28, 2018 AND RECORDED OCTOBER 1, 2018 IN MORTGAGE RECORD 9310 PAGE 154. NOT SURVEY RELATED- AFFECTS SUBJECT PROPERTY.
- THE ABOVE MORTGAGE APPEARS TO BE AN OPEN END MORTGAGE SECURING FUTURE ADVANCES. IF THIS MORTGAGE IS TO BE PAID IN FULL/SATISFIED AND REMOVED FROM THE POLICY TO BE ISSUED ON THIS MATTER, THE EQUITY LOAN ACCOUNT IS TO BE CLOSED OR FROZEN BEFORE THE PAYOFF IS ISSUED. ANOTHER STEP THAT IS OFTEN REQUIRED BY THE LINE OF CREDIT MORTGAGE LENDER IS A CLOSE OUT LETTER SIGNED BY THE MORTGAGOR/FEE OWNER IN ORDER FOR THE LENDER TO PROCEED TO SATISFY THE MORTGAGE.
- ASSIGNMENT OF RENTS: BETWEEN CARL P. KING REAL ESTATE, L.L.C. AND COUNTY BANK, DATED SEPTEMBER 28, 2018 AND RECORDED OCTOBER 1, 2018 IN ASSIGNMENT RECORD 9310 PAGE 168. NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
- (7) SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT: BY AND BETWEEN WAWA, INC. AND COUNTY BANK, DATED MAY 30, 2019 AND RECORDED JUNE 4, 2019 IN RECORD BOOK 9620 PAGE 245. NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
- (8) SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT: BY AND BETWEEN WAWA, INC. AND COUNTY BANK, DATED MAY 30, 2019 AND RECORDED JUNE 4, 2019 IN RECORD BOOK 9620 PAGE 249. NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
- (9) MORTGAGE (FUTURE ADVANCES): \$900,000.00 FROM CARL P. KING REAL ESTATE, L.L.C. TO COUNTY BANK, DATED MAY 30, 2019 AND RECORDED JUNE 4, 2019 IN 9620 PAGE 253. - NOT SURVEY RELATED -AFFECTS SUBJECT PROPERTY.
- THE ABOVE MORTGAGE APPEARS TO BE AN OPEN END MORTGAGE SECURING FUTURE ADVANCES. IF THIS MORTGAGE IS TO BE PAID IN FULL/SATISFIED AND REMOVED FROM THE POLICY TO BE ISSUED ON THIS MATTER, THE EQUITY LOAN ACCOUNT IS TO BE CLOSED OR FROZEN BEFORE THE PAYOFF IS ISSUED. ANOTHER STEP THAT IS OFTEN REQUIRED BY THE LINE OF CREDIT MORTGAGE LENDER IS A CLOSE OUT LETTER SIGNED BY THE MORTGAGOR/FEE OWNER IN ORDER FOR THE LENDER TO PROCEED TO SATISFY THE MORTGAGE.
- (10) ASSIGNMENT OF RENTS: BETWEEN CARL P. KING REAL ESTATE, L.L.C. AND COUNTY BANK, DATED MAY 30, 2019 AND RECORDED JUNE 4, 2019 IN ASSIGNMENT RECORD 9620 PAGE 266. - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
- (11) RIGHT OF WAY AGREEMENT: TO DELAWARE POWER & LIGHT COMPANY, DATED MARCH 22, 1950 AND RECORDED APRIL 26, 1950 IN DEED RECORD A VOLUME 19 PAGE 459. - LOCATION CAN NOT BE DETERMINED - UNABLE TO DETERMINE AFFECT - EXISTING POLES ON AND ADJACENT TO SUBJECT
- (12) RIGHT OF WAY AGREEMENT: TO DELAWARE POWER & LIGHT COMPANY, DATED MARCH 28, 1950 AND RECORDED APRIL 26, 1950 IN DEED RECORD A VOLUME 19 PAGE 464. - LOCATION CAN NOT BE DETERMINED - UNABLE TO DETERMINE AFFECT - EXISTING POLES ON AND ADJACENT TO SUBJECT
- (13) RIGHT OF WAY: TO DELAWARE POWER & LIGHT COMPANY RECORDED AUGUST 25, 1955 IN DEED RECORD C VOLUME 21 PAGE 110. - LOCATION CAN NOT BE DETERMINED - UNABLE TO DETERMINE AFFECT. - EXISTING POLES ON AND ADJACENT TO SUBJECT PROPERTY.
- (14) RIGHT OF INGRESS, EGRESS AND REGRESS: BETWEEN BRADLEY V. KING AND BLANCHE H. KING AND CARL P. KING AND HATTIE E. KING, DATED FEBRUARY 9, 1962 AND RECORDED FEBRUARY 9, 1962 IN DEED RECORD T VOLUME 22 PAGE 506. - LOCATED OFF SITE. - DOES NOT AFFECT SUBJECT PROPERTY. (15) RIGHT OF WAY: TO DELMARVA POWER & LIGHT COMPANY, DATED DECEMBER 13, 1978 AND RECORDED
- (16) UTILITY EASEMENT AGREEMENT: BETWEEN CARL KING, INC. AND DELMARVA POWER & LIGHT COMPANY, DATED NOVEMBER 20, 1990 AND RECORDED JANUARY 28, 1991 IN DEED RECORD M VOLUME
- 49 PAGE 218. LOCATION CAN NOT BE DETERMINED UNABLE TO DETERMINE AFFECT. EXISTING POLES ON AND ADJACENT TO SUBJECT PROPERTY. SANITARY SEWER EASEMENT AND RIGHT OF WAY: BETWEEN CARL P. KING AND THE CAMDEN-WYOMING
- SEWER AND WATER AUTHORITY, DATED NOVEMBER 22, 1999 AND RECORDED DECEMBER 6, 1999 IN DEED RECORD 341 PAGE 313. - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY. (18) SANITARY SEWER EASEMENT AND RIGHT OF WAY: BETWEEN ROBERTA HOLT AND THE CAMDEN-WYOMING SEWER AND WATER AUTHORITY, DATED NOVEMBER 19, 1999 AND RECORDED
- (19) PERMANENT EASEMENT FOR INGRESS AND EGRESS: BETWEEN CARL P. KING REAL ESTATE LLC AND BLUE HEN REALTY CORPORATION, DATED APRIL 21, 2006 AND RECORDED APRIL 27, 2006 IN DEED RECORD 2908 PAGE 159 (CHAIN DEED). - LOCATED OFF SITE. - DOES NOT AFFECT SUBJECT PROPERTY
- PERMANENT EASEMENT FOR INGRESS AND EGRESS: BETWEEN BLUE HEN REALTY CORPORATION AND CARL P. KING REAL ESTATE LLC, DATED APRIL 21, 2006 AND RECORDED SEPTEMBER 22, 2006 IN DEED RECORD 3261 PAGE 303 (CHAIN DEED). - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY.
- PERMANENT EASEMENT FOR INGRESS AND EGRESS: BETWEEN CARL P. KING REAL ESTATE, L.L.C. AND MORLAW TRUSTEE CORP., DATED DECEMBER 11, 2009 AND RECORDED DECEMBER 21, 2009 IN DEED RECORD 5250 PAGE 144 (CHAIN DEED). - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY
- (22) PERMANENT EASEMENT FOR INGRESS AND EGRESS: BETWEEN MORLAW TRUSTEE CORP. AND CARL P. KING REAL ESTATE, L.L.C. AND BLUE HEN REALTY CORPORATION, DATED DECEMBER 11, 2009 AND RECORDED DECEMBER 21, 2009 IN DEED RECORD 5250 PAGE 149 (TITLE DEED). - LOCATED OFF SITE-DOES NOT AFFECT SUBJECT PROPERTY.
- TRAFFIC SIGNAL INSTALLATION AND MAINTENANCE AGREEMENT: BY AND BETWEEN DELAWARE DEPARTMENT OF TRANSPORTATION AND CARL P. KING REAL ESTATE LLC, DATED FEBRUARY 17, 2017 AND RECORDED MARCH 7, 2017 IN RECORD BOOK 8526 PAGE 163. LOCATED ON SITE. - LIMITS CAN NOT BE DETERMINED. - AFFECTS SUBJECT PROPERTY.

- (24) RECORD MAJOR SUBDIVISION PLAN FOR RICKARDS LANDS: AS SHOWN IN PLOT BOOK 5 PAGE 29. SUBJECT PARCEL BEING PART OF PARCEL NO. 2 ON SAID PLAN - FORMER RIGHT-OF-WAY OF EAST STREET IS SHOWN ON THIS PLAN. - AFFECTS SUBJECT PROPERTY.
- RECORD MAJOR SUBDIVISION PLAN FOR MINOR LOT LINE ADJUSTMENT FOR CARL P. KING REAL ESTATE, L.L.C.: AS SHOWN IN PLOT BOOK 81 PAGE 70. - FORMER RIGHT-OF-WAY OF EAST STREET SHOWN ON THIS PLAN. - AFFECTS SUBJECT PROPERTY.
- (26) RECORD MAJOR SUBDIVISION PLAN FOR KING COMMERCIAL DEVELOPMENT: AS SHOWN IN: a. PLOT BOOK 132 PAGE 23. SUBJECT PARCEL BEING PARCEL #3 ON SAID PLAN. - SETBACK, FORMER RIGHT-OF-WAY OF EAST STREET, AND EASEMENT SHOWN ON THIS PLAN.- AFFECTS SUBJECT
- b. PLOT BOOK 132 PAGE 56. SUBJECT PARCEL BEING PARCEL #3 ON SAID PLAN. SETBACK, FORMER RIGHT-OF-WAY OF EAST STREET, FORMER PROPERTY LINE AND EASEMENT SHOWN ON THIS PLAN -AFFECTS SUBJECT PROPERTY.
- ANY EASEMENTS, RESTRICTIONS, RESERVATIONS AND CONDITIONS WHICH MAY BE DISCLOSED BY A SURVEY OF THE PREMISES.
- 6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD
- 8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88, BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS). TEMPORARY BENCH MARKS SET
- TBM-A: MAG NAIL SET IN ASPHALT WALK, ELEVATION =39.66 TBM-B: MAG NAIL SET IN CONCRETE WALK, ELEVATION =39.81 PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT HE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- 9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- 10. A SUBSURFACE UTILITY MARKOUT WAS PERFORMED BY CONTROL POINT ASSOCIATES, INC. TO ASSIST IN THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE MARKED 8-21-2019 AND FIELD LOCATED 8-21-2019. SEE REF. #4. TEST HOLES WERE PERFORMED ON 10-29-2019 AND FIELD LOCATED ON 11-4-2019.
- 11. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- 12. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.

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C-201

THERE ARE NO PARKING SPACES ON THE SUBJECT PROPERTY.

REFERENCES:

- 1. THE OFFICIAL TAX ASSESSOR'S MAP OF TOWN OF CAMDEN (NORTH MURDERKILL HUNDRED), KENT COUNTY,
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, KENT COUNTY. DELAWARE AND INCORPORATED AREAS, PANEL 231 OF 345", MAP NUMBER 10001C0231H, EFFECTIVE DATE:
- MAP ENTITLED "KING COMMERCIAL DEVELOPMENT, TOWN OF CAMDEN, KENT COUNTY, DELAWARE" PREPARED BY DAVIS, BOWEN & FRIEDEL, INC., DATED MAY 2016, REVISED 4-26-2017, PROJ. NO. 1898A001,
- MAP SHOWING UNDERGROUND UTILITY LOCATIONS BASED UPON A SUBSURFACE UTILITY LOCATION SURVEY PERFORMED AND PREPARED BY CONTROL POINT ASSOCIATES, INC.
- THE FOLLOWING COMPANIES WERE NOTIFIED BY MISS UTILITY OF DELMARVA (1-800-282-8555) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 192270312

UTILITY COMPANY	PHONE NUMBER
COMCAST/CABLE PROTECTION	(804) 562-3409
CHESAPEAKE UTILITIES	(302) 734-6797
CAMDEN-WYOMING SEWER & WA	(302) 697-6372
DELMARVA POWER/UTILIQUEST	(609) 758-4700
EASTERN SHORE NATURAL GAS	(302) 734-6720
KENT COUNTY PUBLIC WORKS	(302) 744-2430
DELAWARE DEPT OF TRANS	(302) 387-3707
TIDEWATER UTILITIES	(302) 218-8538
VERIZON	(609) 758-4700

DEMOLITION CONSTRUCTION NOTES

R-1 EXISTING SIGN TO BE REMOVED

- REMOVE EXISTING PAVEMENT AS NEEDED FOR CONSTRUCTION. SAW CUT EXISTING PAVEMENT IN
- STRAIGHT LINES (TYP) REMOVE EXISTING CONCRETE CURB AS NEEDED FOR CONSTRUCTION (TYP)
- REMOVE EXISTING CONCRETE SIDEWALK AS NEEDED FOR CONSTRUCTION (TYP)
- RESERVED
 - REMOVE AND RELOCATE EXISTING TELEPHONE LINE PER PROVIDER SPECIFICATION AND CONNECT PROPOSED TELEPHONE LINE, SEE UTILITY PLAN FOR MORE INFO. COORDINATE REMOVAL WITH UTILITY
- COMPANY. REFERENCE APPLICABLE TEST PIT DUE DILIGENCE REQUIRED BY THE GC SHOWN ON SHEET
- PROPOSED SAWCUT
- (R-8) REMOVE EXISTING FLARED END SECTION REMOVE EXISTING STONE
- EXISTING STONE AREA TO BE VERIFIED AND UTILIZED IF POSSIBLE FOR BASE OF PROPOSED SIDEWALK.
- IF NOT SUITABLE PER SIDEWALK DETAIL, GC TO REMOVE.
- (R-11) REMOVE PORTION OF EXISTING STORM PIPE. SEE UTILITY PLAN FOR DETAILS

REGIONAL DWG. NO

DE190053

CAD FILE: DE190053-PSP-1

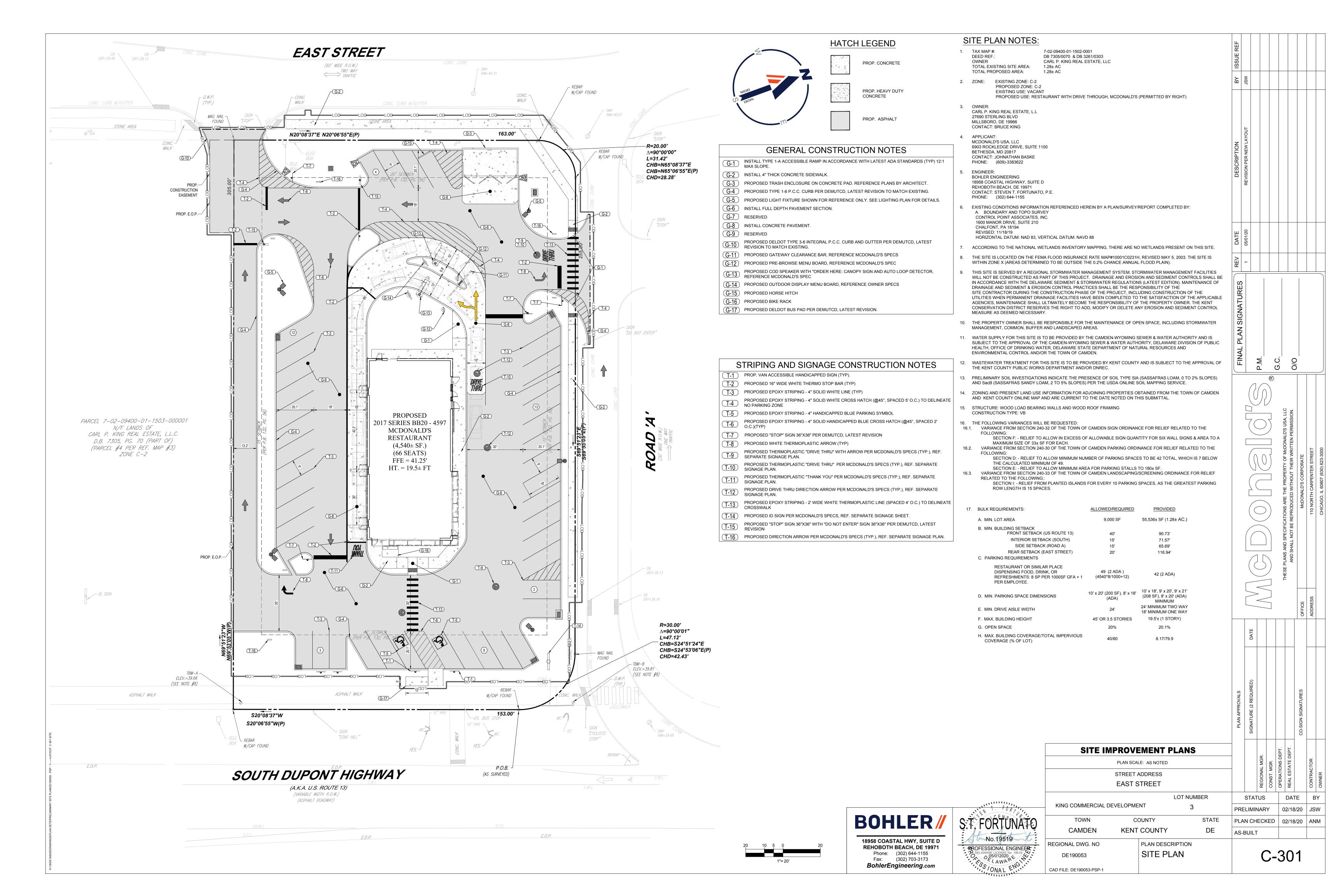
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	SITE IMPROVEMENT PLANS							DEPT.	EPT.			
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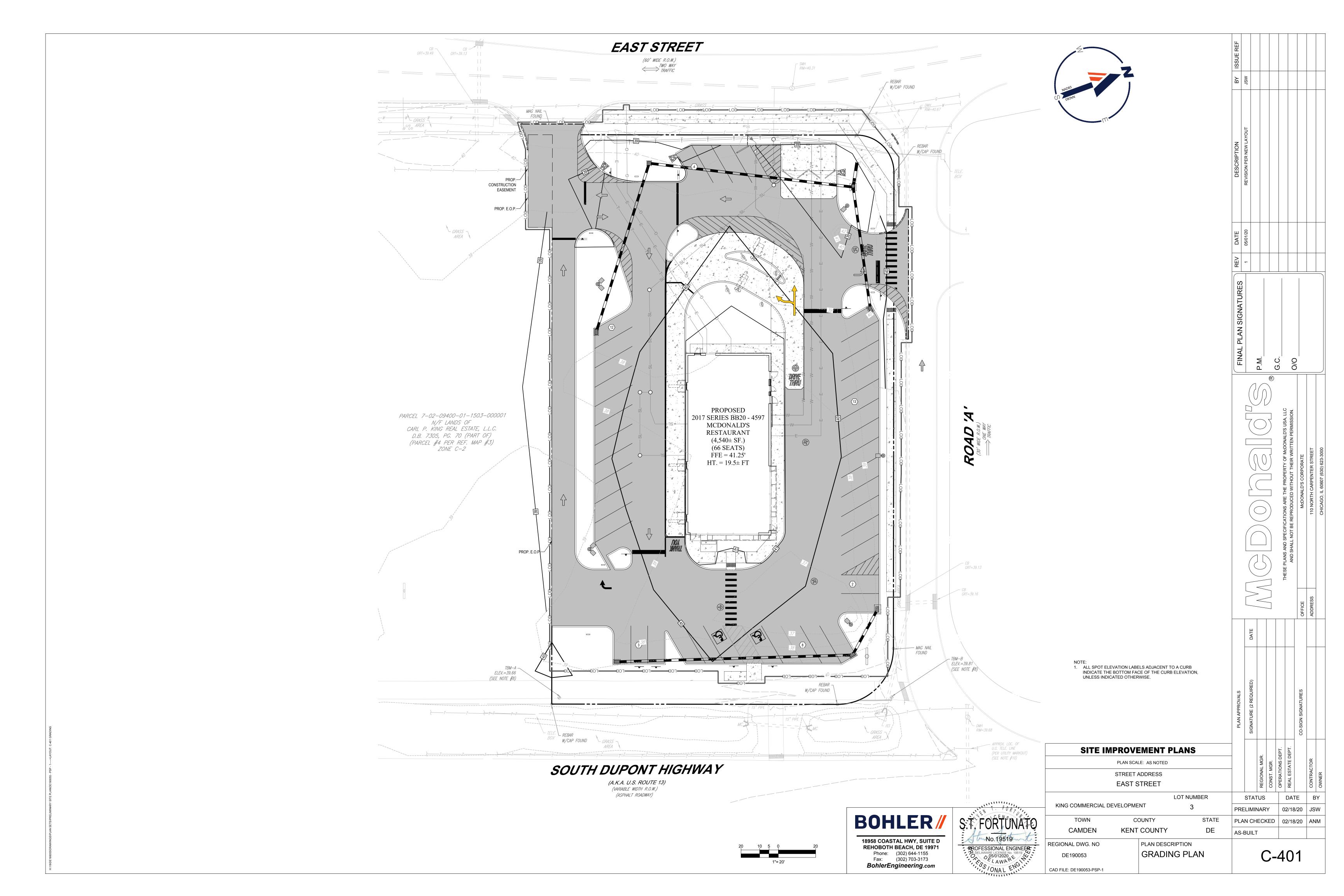
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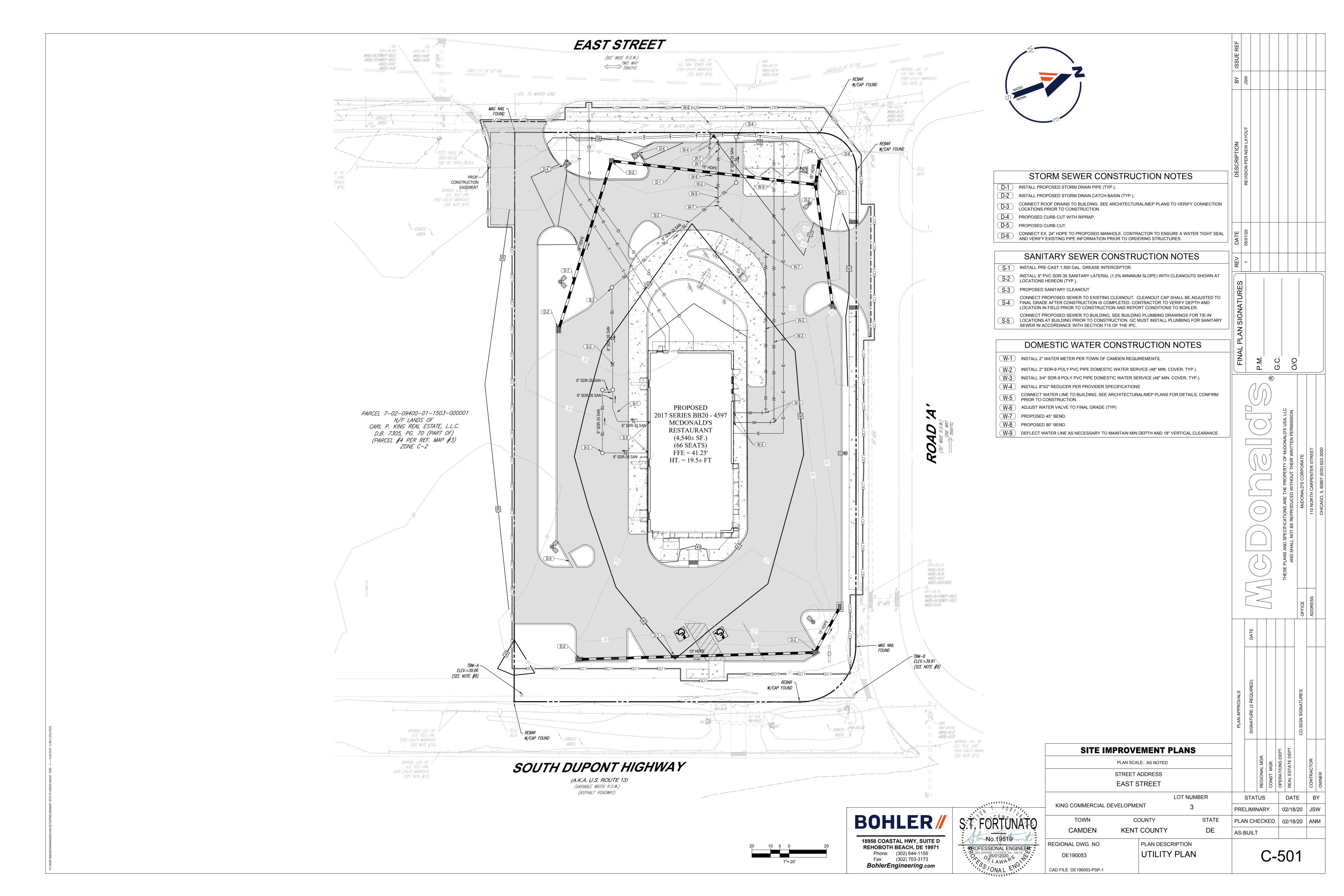
DEMOLITION PLAN

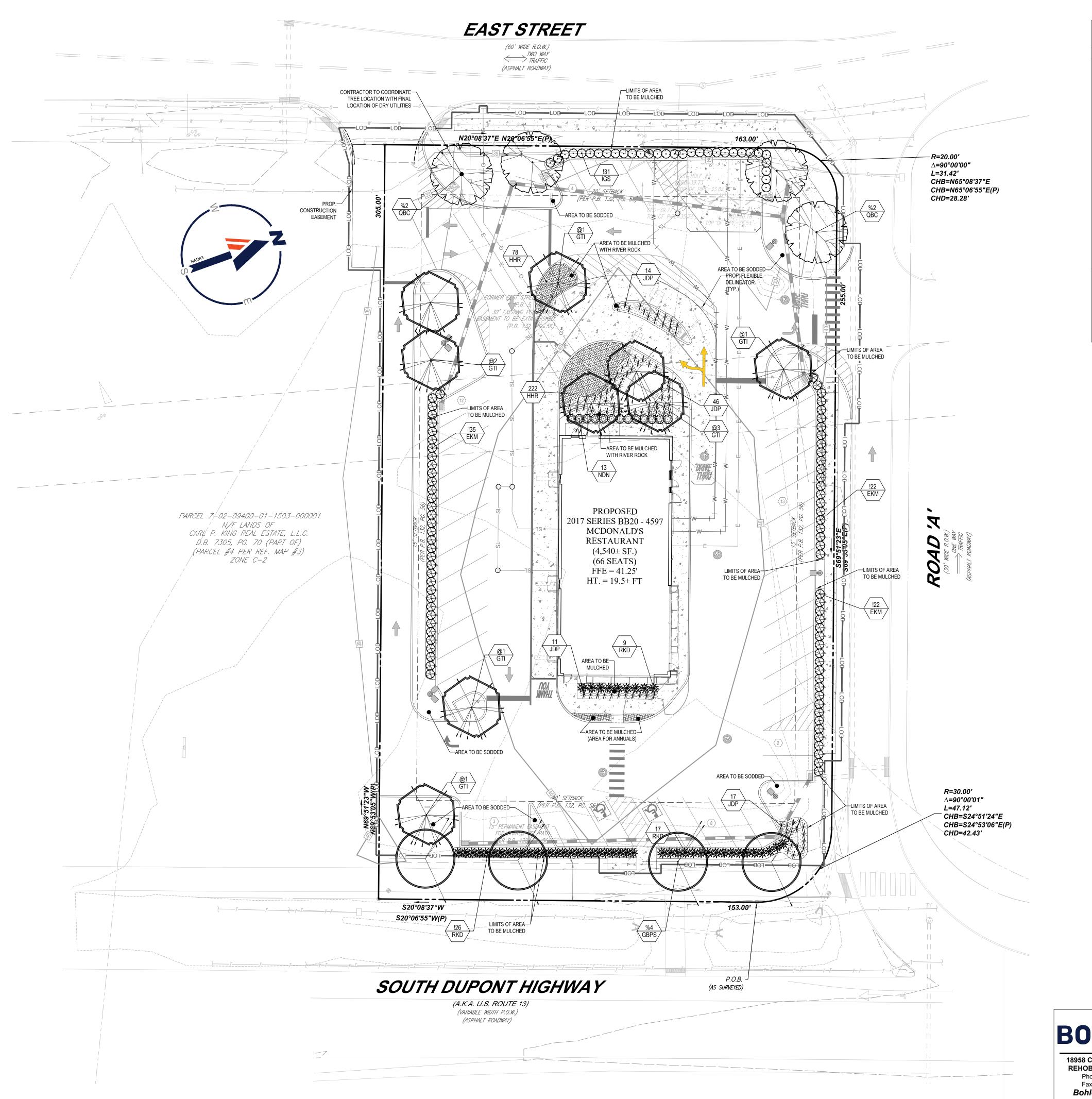












	TOWN OF CA COMPLIANCE						
SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED					
240-39-I.(1): PARKING FACILITIES	(1) SCREEN PLANTING SHALL BE PROVIDED ALONG EACH PERIMETER OF A PARKING AREA. IN ADDITION, NO LESS THAN 10% OF THE INTERIOR OF A PROPOSED PARKING AREA MUST CONSIST OF BUFFER AREAS AND ISLANDS AND MUST BE LANDSCAPED AND CONTINUALLY MAINTAINED.	EAST STREET REQUIRED: SCREEN PLANTINGS PROVIDED: SCREEN PLANTINGS "!" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT ROAD 'A' REQUIRED: SCREEN PLANTINGS PROVIDED: SCREEN PLANTINGS ""I" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT SOUTH DUPONT HIGHWAY REQUIRED: SCREEN PLANTINGS PROVIDED: SCREEN PLANTINGS "!" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT SOUTHERN BOUNDARY REQUIRED: SCREEN PLANTINGS "!" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT SOUTHERN BOUNDARY REQUIRED: SCREEN PLANTINGS PROVIDED: SCREEN PLANTINGS "!" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT TOTAL PARKING SPACES (IN SINGLE BAYS): 43 SPACES REQUIRED: 43/5 = 9 (3.5" CALIPER) TREES PROVIDED: 9 (3.5" CALIPER) TREES "@" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT PARKING AREA: 38,287 S.F. REQUIRED: 38,287 x 0.10 = 3,829 S.F. (10%) PROPOSED: 6,027 S.F. (16%)					
<u>240-39-F.:</u> STREET TREES	(1) STREET TREES AND ASSOCIATED PLANTINGS SHALL BE REQUIRED FOR ANY DEVELOPMENT AS PART OF THE DESIGN AND CONSTRUCTION OF: NEW STREETS, NEW SIDEWALKS, EXISTING STREETS WHEN THEY ABUT OR LIE WITHIN THE DEVELOPMENT AND ACCESS DRIVEWAYS TO RESIDENTIAL DEVELOPMENTS SERVING MORE THAN FOUR DWELLINGS.						

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL. / HT.	CONT.
SHADE TREES					
GBPS	4	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2 1/2-3" CAL. / 12-14'	B+B
GTI	9	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEYLOCUST	3 1/2" CAL. / 12-14'	B+B
QBC	4	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2-3" CAL. / 12-14'	B+B
SUBTOTAL:	17				
DECIDUOUS SHF	RUBS				
RKD	52	ROSA 'KNOCKOUT'	DOUBLE KNOCKOUT ROSE	18-24" HT. & SPREAD	#3 CAN
EVERGREEN SHI	RUBS				
EKM	79	EUONYMUS KIAUTSCHOVICUS 'MANHATTAN'	MANHATTAN SPREADING EUONYMUS	24-30" HT. & SPREAD	#5 CAN
IGS	31	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30" HT. & SPREAD	#5 CAN
JDP	92	JUNIPERUS DAVURICA 'PARSONI'	PARSON JUNIPER	15-18" SPRD.	#3 CAN
NDN	13	NANDINA DOMESTICA 'NANA'	HEAVENLY BAMBOO	24-30" HT. & SPREAD	#3 CAN
SUBTOTAL:	215				
PERENNIALS					
HHR	300	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	2 GAL.	CONTAIN
	1				

	FINAL PLAN SI		P.M.	(ב. כ	0/0			
					O LE ASIL SIGNEDAMEN STATEMENT TO STATEMENT	AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.	OFFICE McDONALD'S CORPORATE	ADDRESS 110 NORTH CARPENTER STREET	CHICAGO, IL 60607 (630) 623-3000
	PLAN APPROVALS	SIGNATURE (2 REQUIRED) DATE	REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	TOO-SIGN SIGNATURES	CONTRACTOR	OWNER
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REGIONAL DWG. NO
DE190053

PLAN DESCRIPTION
LANDSCAPE PLAN

CAD FILE: DE190053-PSP-0

SITE IMPROVEMENT PLANS

PLAN SCALE: AS NOTED

C-701

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK: THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR

2. MATERIALS A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.

- B. TOPSOIL NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE
- C. LAWN ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES. 1.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED. 1.2 SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS
- D. MULCH THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

- 1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT. ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
- 1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

- 1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION
- 1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL
- 1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION. 1.4 TREES WITH ABRASION OF THE BARK SUN SCALDS DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4"
- WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. 1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF
- DISEASE, INSECTS, PESTS, EGGS OR LARVAE. 1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE.
- IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE. 1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE
- LONGEST BRANCH. 1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL

- A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
- B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS

A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

- B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
- C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
- B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL
- AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING

D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.

- B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED
- C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS
- PERFORMED BY A CERTIFIED SOIL LABORATORY 1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12" USE COMPOSTED BARK COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF
- OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5. 1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX.
- SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE. 1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED

CLAY LOAM UP TO 30% OF THE TOTAL MIX.

- A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE
- B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL
- C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
- D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL. OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED

SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.

- B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
- C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED. THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS.
- D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CUI TIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1 000 SQUARE FOOT AREA). 1.1. 20 POUNDS 'GROW POWER' OR APPROVED EQUAL
- 1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

- A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
- B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
- C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
- D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS. DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
- F. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS. MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE
- FOLLOWING PLANTING SEASONS: 1.1. PLANTS: MARCH 15 TO DECEMBER 15

AGENCY FOR POTENTIAL SUBSTITUTIONS.

- G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING
- H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
- ACER RUBRUM PLATANUS X ACERIFOLIA POPULOUS VARIETIES BETULA VARIETIES CARPINUS VARIETIES PRUNUS VARIETIES CRATAEGUS VARIETIES PYRUS VARIFTIES KOELREUTERIA QUERCUS VARIETIES LIQUIDAMBER STYRACIFLUA TILIA TOMENTOSA LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

- PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS. WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
- 1 PART PEAT MOSS • 1 PART COMPOSTED COW MANURE BY VOLUME
- 3 PARTS TOPSOIL BY VOLUME • 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
 - A) 2 TABLETS PER 1 GALLON PLANT
- B) 3 TABLETS PER 5 GALLON PLANT
- C) 4 TABLETS PER 15 GALLON PLANT D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
- J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY. K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE
- BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL
- L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
- M. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION
- N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
- O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
- P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.

- B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL. ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT. SUN AND WIND
- C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
- D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
- E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN. F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

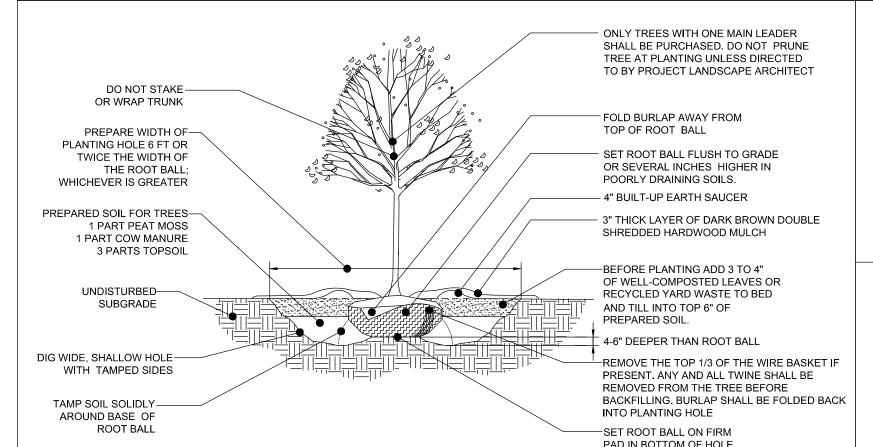
- A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
- B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED
- C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL. BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
- A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN
- B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED. REPRESENTATIVE

- C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE
- D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS

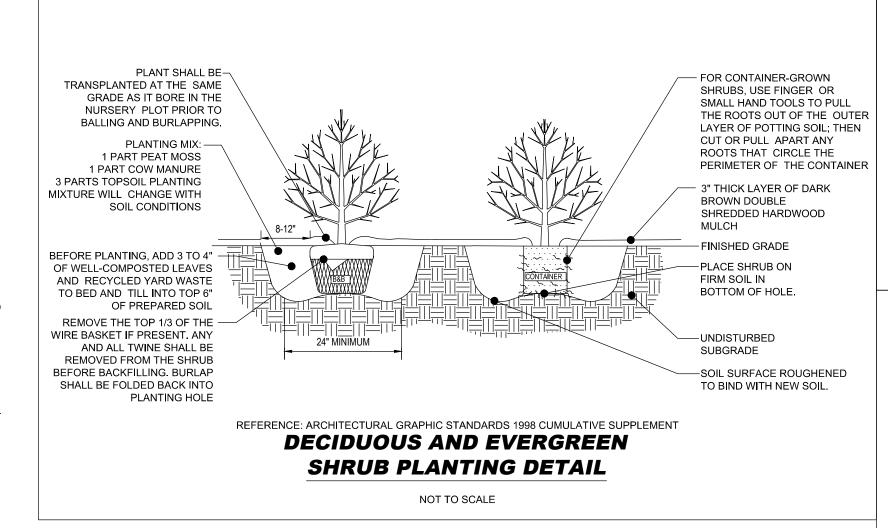
- A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
- B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

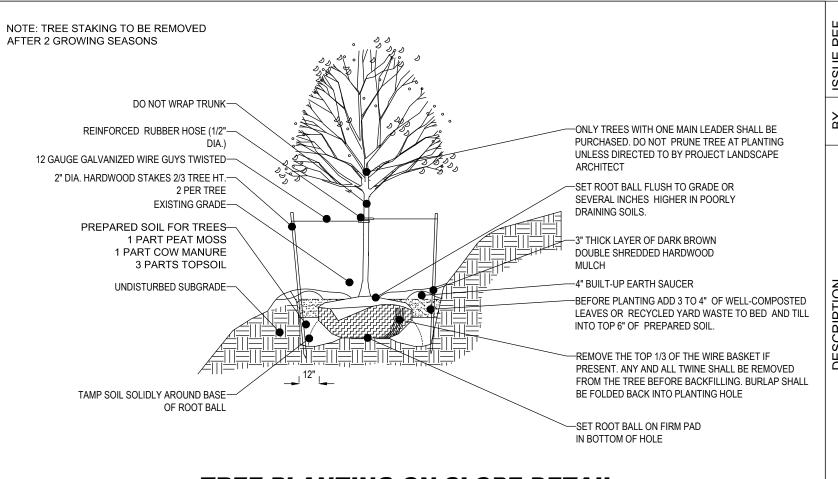
ONLY TREES WITH ONE MAIN LEADER SHALL BE PURCHASED DO NOT PRUNE TREE AT PLANTING UNLESS DIRECTED TO BY PROJECT LANDSCAPE ARCHITECT DO NOT STAKE OR -FOLD BURLAP AWAY FROM TOP OF WRAP TRUNK SET ROOT BALL FLUSH TO GRADE OR PREPARE WIDTH OF PLANTING HOLE 6 FT SEVERAL INCHES HIGHER IN POORLY DRAINING SOILS. OR TWICE THE WIDTH OF THE ROOT BALL - 4" BUILT-UP FARTH SAUCER WHICHEVER IS GREATER 3" THICK LAYER OF DARK BROWN DOUBLE SHREDDED HARDWOOD MULCH PREPARED SOIL FOR REES 1 PART PEAT MOSS 1 BEFORE PLANTING ADD 3 TO 4" PART COW MANURE 3 OF WELL-COMPOSTED LEAVES PARTS TOPSOIL OR RECYCLED YARD WASTE TO BED AND TILL INTO TOP 6" OF PREPARED SOIL. 4-6" DEEPER THAN ROOT BALL UNDISTURBED-SUBGRADE REMOVE THE TOP 1/3 OF THE WIRE BASKET IF PRESENT. ANY AND ALL TWINE SHALL BE REMOVED DIG WIDE, SHALLOW HOLE FROM THE TREE BEFORE BACKFILLING. BURLAP SHALL WITH TAMPED SIDES BE FOLDED BACK INTO PLANTING HOLE TAMP SOIL SOLIDLY AROUND-BASE OF ROOT BALL SET ROOT BALL ON FIRM PAD IN BOTTOM OF HOLE REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT EVERGREEN TREE PLANTING DETAIL



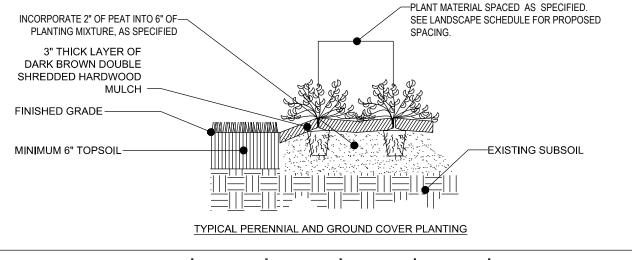
NOT TO SCALE

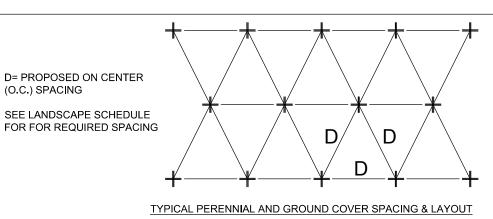
REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT. **DECIDUOUS TREE PLANTING DETAIL**





TREE PLANTING ON SLOPE DETAIL





PERENNIAL/GROUND COVER PLANTING DETAIL

SEEDING SPECIFICATIONS

- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED C
- ALL DEBRIS LARGER THAN 2" DIAMETER. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND
- SEEDING RATES:
 - PERENNIAI RYEGRASS 1/2 LB/1 000 SQ FT KENTUCKY BLUEGRASS 1 LB/1.000 SQ FT RED FESCUE 1 1/2 LBS/1,000 SQ FT SPREADING FESCUE 1 1/2 LBS/1,000 SQ FT FERTILIZER (20:10:10) 14 LBS/1.000 SQ FT 90 LBS/1,000 SQ FT
- GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK. THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL NSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO. THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE



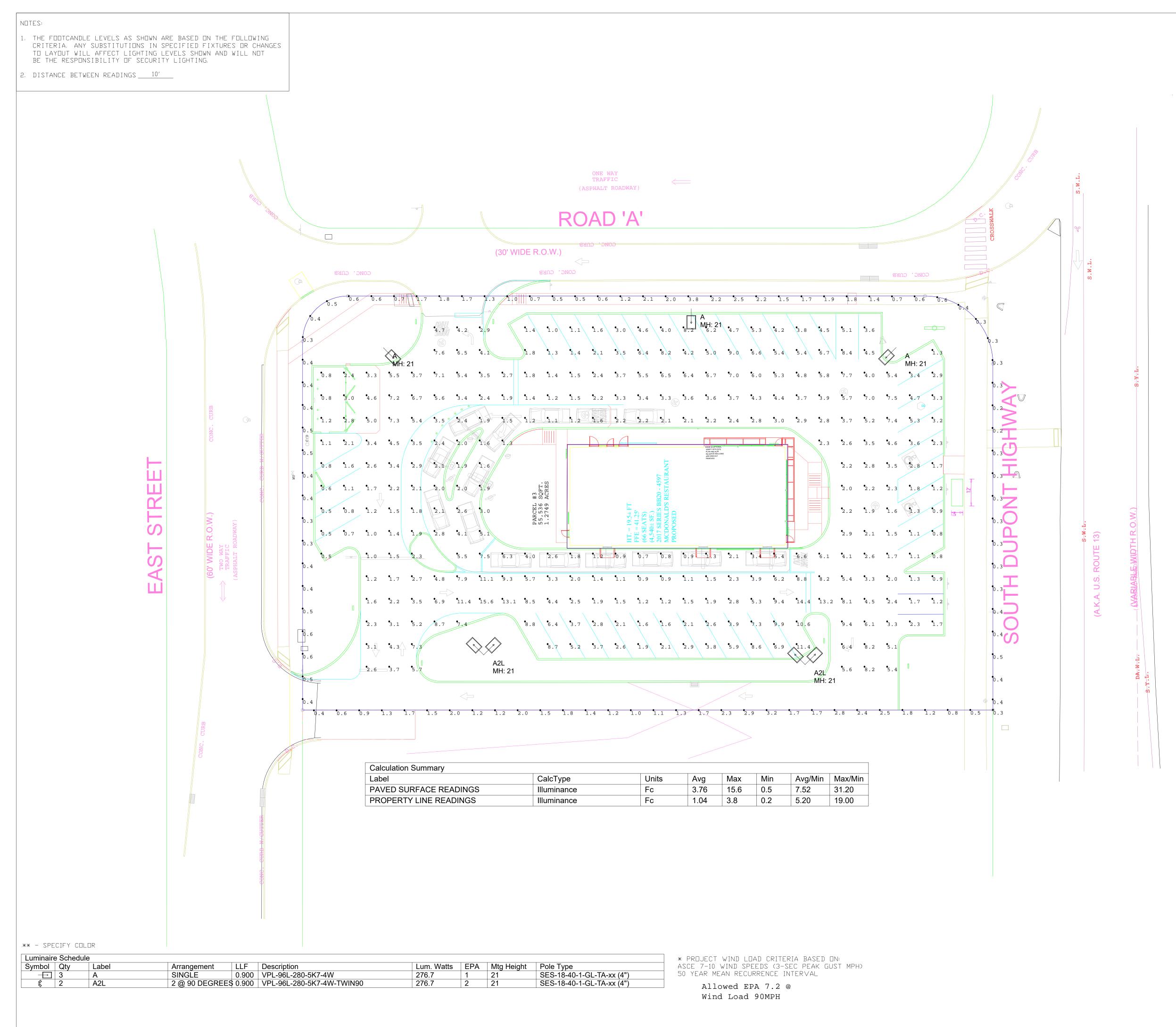


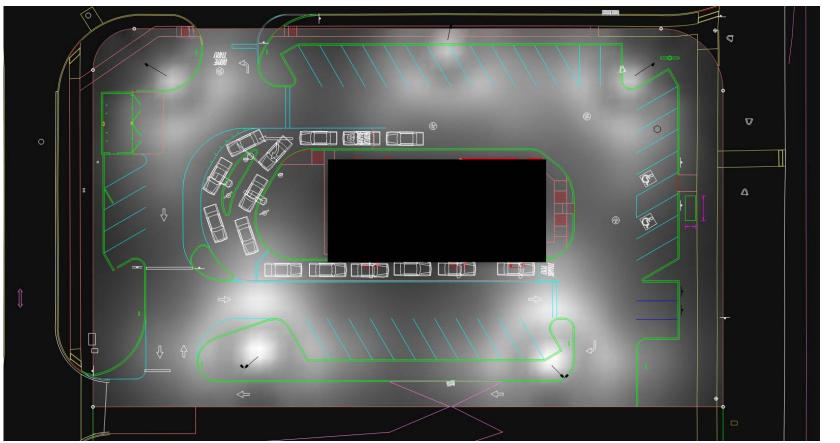
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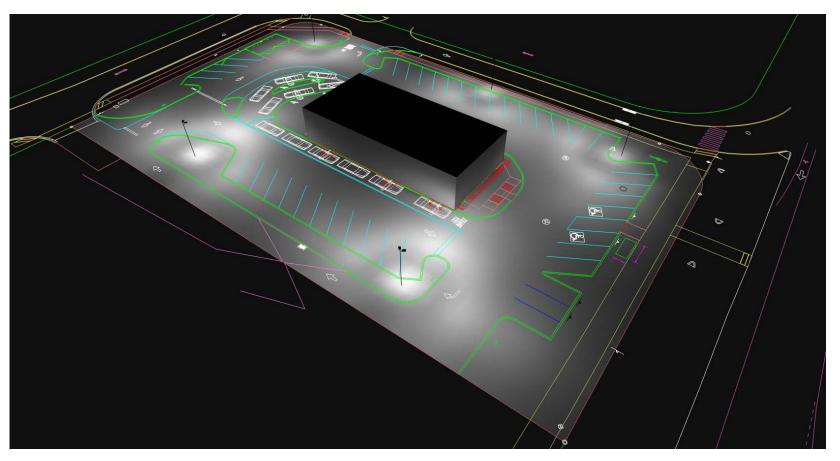
CAMDEN KENT COUNTY REGIONAL DWG. NO PLAN DESCRIPTION LANDSCAPE NOTES DE190053 AND DETAILS

CAD FILE: DE190053-PSP-0

AS-BUILT







Regional Drawing # 007-0153

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO E COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.



2100 Golf Road, Suite 460, Rolling Meadows, IL 60008 1-800-544-4848

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES 1"=20"0" DRAWN BY DIE

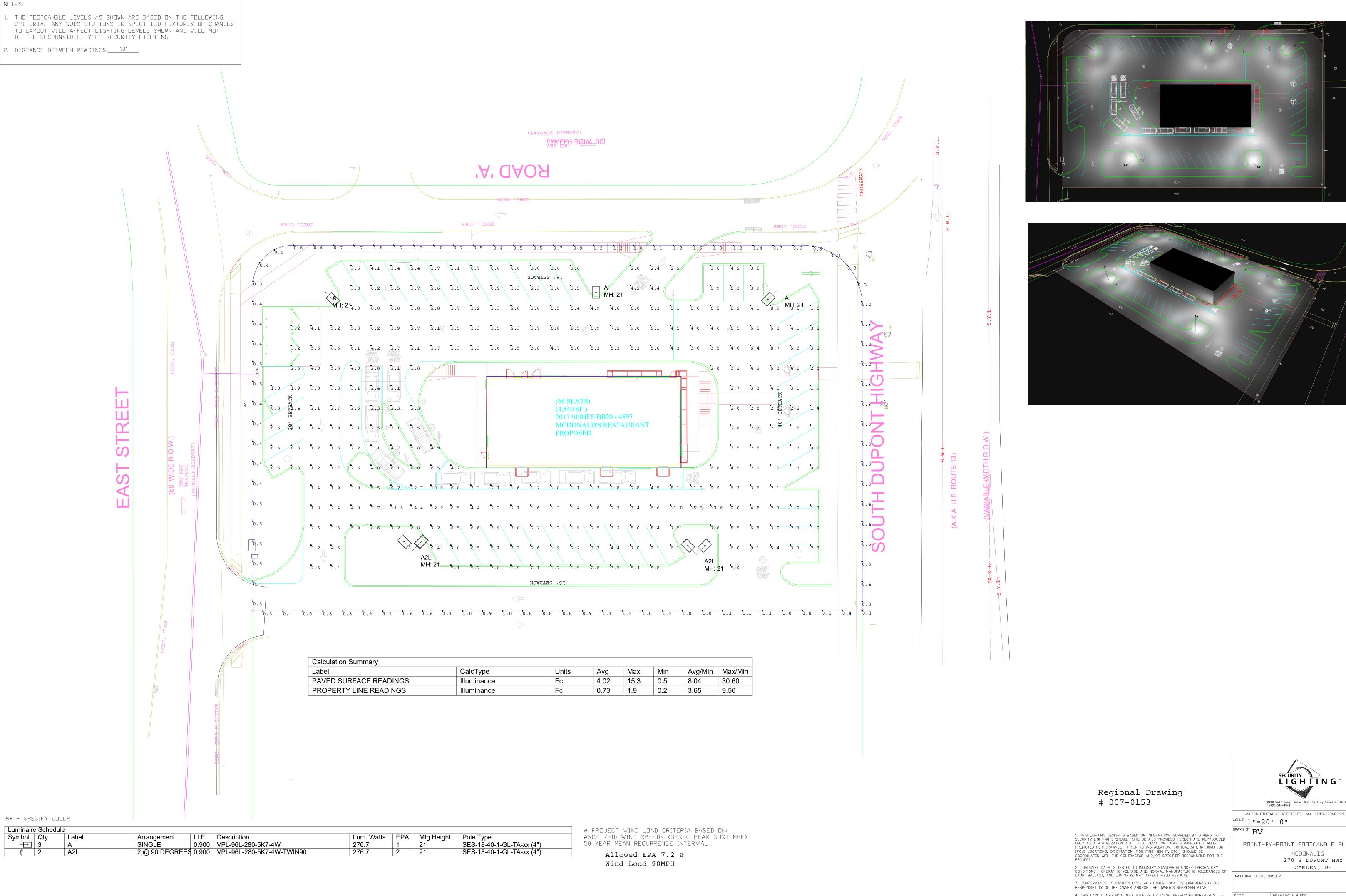
POINT-BY-POINT FOOTCANDLE PLOT FOR MCDONALDS

270 S DUPONT HWY

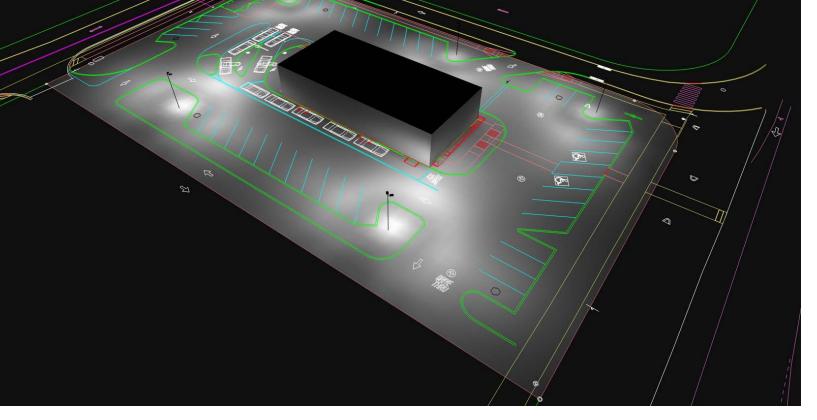
CAMDEN, DE

NATIONAL STORE NUMBER

DATE DRAWING NUMBER
4/29/2020 SL2002026-Revla.AGI







4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO E COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.



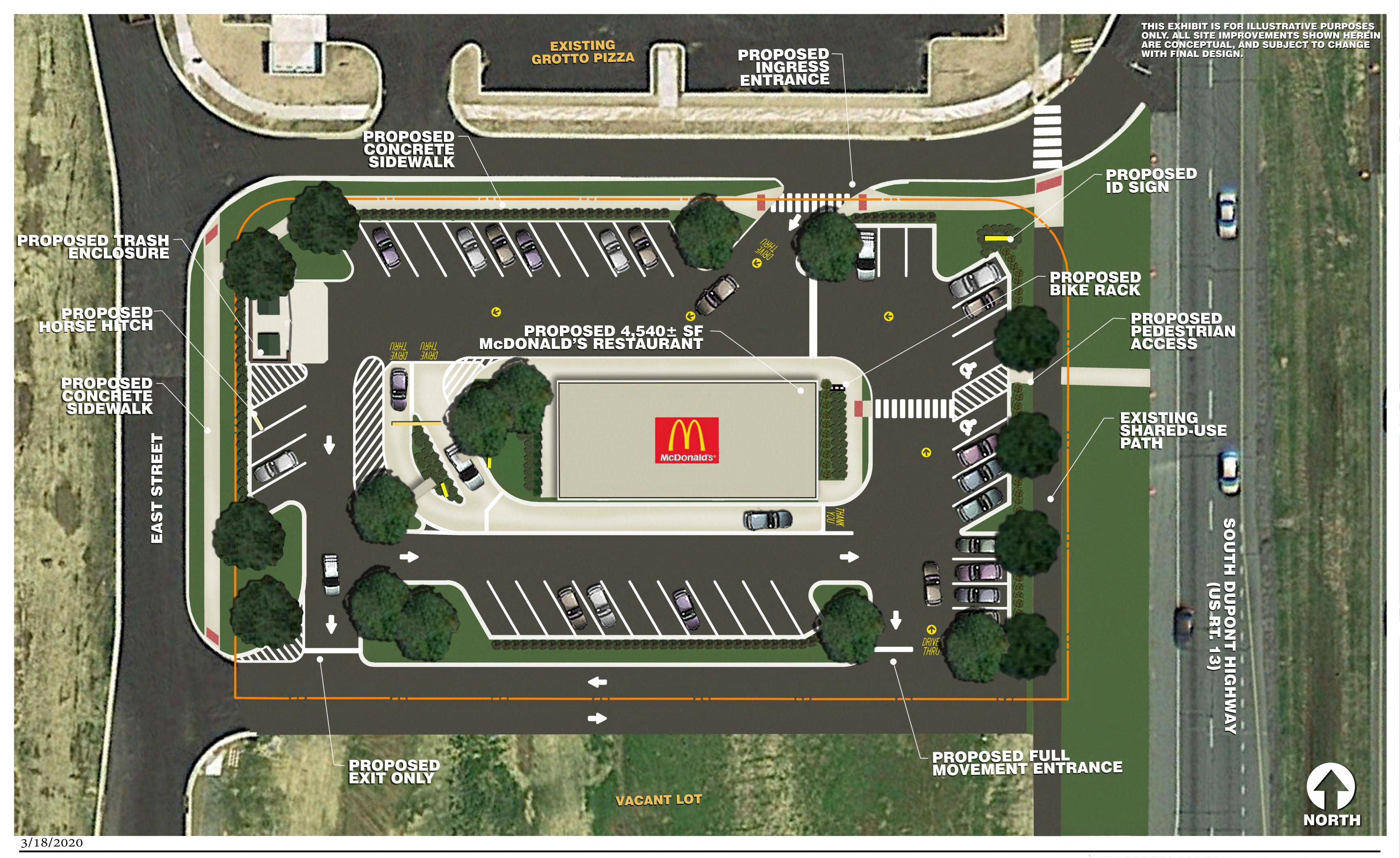
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UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

PDINT-BY-PDINT FOOTCANDLE PLOT FOR MCDONALDS

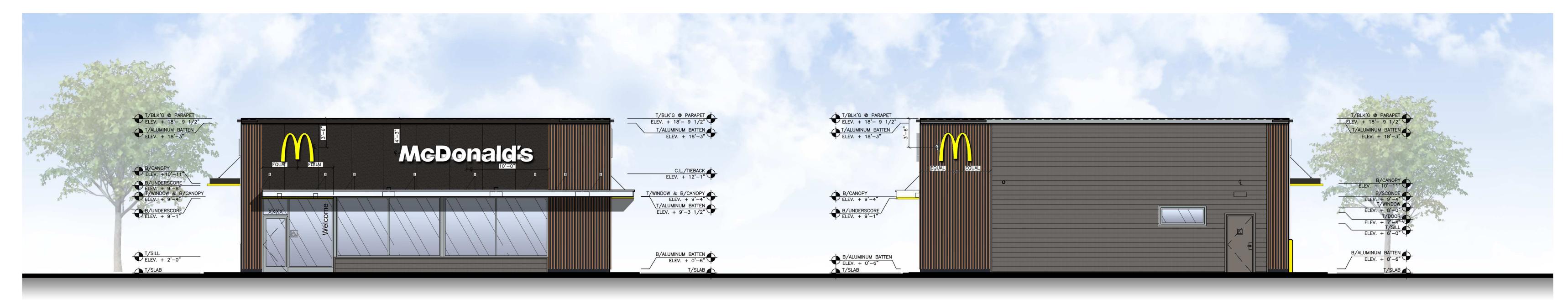
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Front Elevation Rear Elevation



Non-Drive-Thru Side Elevation





SCHEME: STEEL

