

Town of Camden  
Board of Adjustment  
**Wednesday, May 20, 2020 at 6:30**  
Camden Municipal Complex  
1783 Friends Way  
Camden, DE 19934

**A G E N D A**

**CALL TO ORDER**

- a. Pledge of Allegiance
- b. Roll Call
- c. Notice of Public Hearing:  
"In compliance with Delaware State Law, advance notice had been posted in the following manner on May 6, 2020:
  - The electronic sign,
  - The Official Bulletin Board, and
  - The official Town of Camden Web Site
  - The Delaware State News & The Dover Post

**MINUTES**

- d. November 20, 2019-Regular Meeting Minutes

**NEW BUSINESS**

- East St parcel, McDonald's Restaurant, 7-02-094.00-01-15.02-000, application submitted for relief from allowed number of sign quantity for three wall signs & area to a maximum size of 33 plus square feet for each.
- East St parcel, McDonald's Restaurant, 7-02-094.00-01-15.02-000, Relief from allowed parking spaces to a minimum of 43.
- East St parcel, McDonald's Restaurant, 7-02-094.00-01-15.02-000, Relief to allow minimum area for parking stalls to 180 plus square feet.
- East St parcel, McDonald's Restaurant, 7-02-094.00-01-15.02-000, Relief from planted islands for every 10 parking spaces, as the greatest parking row length is 12 spaces.

The agenda shall be subject to changes, which arise at the time of the meeting/hearing. Formal official action may be taken at such meetings on any and all business involving the Board of Adjustment. Any person needing special accommodations please contact the Town Hall at 697-2299 at least 72 hours in advance of scheduled meeting. In order to be on the agenda for the next meeting please submit your request in writing thirty (30) days prior to the next meeting.

POSTED: May 6, 2020

**Next Regular Scheduled**  
**Meeting** June 17, 2020

**Town of Camden  
Board of Adjustment Meeting  
Camden Municipal Building  
November 20, 2019**

**CALL TO ORDER**

Commissioner Torres called the meeting to order at 6:30 p.m. and noticed that this regular Board of Adjustment meeting is being held in compliance with Delaware Open Public Meeting Act by posting the agenda on November 13, 2019, in the following manner:

- The official bulletin boards;
- Posted on the official electronic sign; and
- Posted on the official website

Member Torres led attendees in the Pledge of Allegiance.

Members Attending: Commissioner Badger, Commissioner Torres, and Commissioner Kelly.

Members absent: Chairman Prystajko

Staff Attending: Town Clerk Jamie Fenske and Code Enforcement Officer Harold Scott Jr

**MINUTES**

Motion made by Commissioner Badger seconded by Commissioner Kelly, to approve the October 16, 2019 regular meeting minutes. All in favor; none opposed.

**NEW BUSINESS**

*2035 S Dupont Hwy, S Dupont Hwy, 7 Howell Street, and 16 Asbury Ave; parcels 7-00-085.20-01-30.00-000, 31.00, 32.00, 33.00, application submitted for relief from number of parking spaces.*

Johnathan Street from Becker and Morgan explained that they are requesting a variance for the properties that are newly annexed into the Town of Camden. These properties are located between Pizzadili and Auto Zone. The code requires them to have a total of 149 spaces and they are asking for a variance to allow only 30 spaces.

Mr. Street stated that due to the shape and size of the lot it makes it hard to have the required number of spaces. Dollar Generals goal is to accommodate it's customers as much as possible and to provide parking that is close to the store. He added that they have performed studies and found that 25 is sufficient parking for their stores. Also they would like to preserve as many of the existing trees as possible.

Commissioner Torres explained that he has reviewed the plans and the site and that he has no questions and is in favor of the variance.

Commissioner Badger questioned staff on their recommendation.

Ms. Fenske replied that the Town staff has reviewed the application and recommends the approval of the variance as submitted.

A motion was made by Commissioner Badger, seconded by Commissioner Kelly, to relief from the number of parking spaces required for 2035 S Dupont Hwy, Dupont Hwy, 7 Howell St, 16 Asbury Ave, parcels 7-00-085.20-01-30.00-000, 31.00, 32.00, 33.00. All in favor, motion carries.

#### ADJOURNMENT

At 6:56 a motion was made by Commissioner Badger, seconded by Commissioner Kelly to adjourn the meeting. All in favor; none opposed.

*Respectfully submitted,  
Jamie Fenske, Town Clerk*



# LAND USE APPLICATION

Cover sheet for applications to Planning Commission, Town Council or Board of Adjustment

Please check the appropriate action(s)

Date: 2/18/2020

SITE PLAN FEE: SEE BELOW	CONDITIONAL USE FEE: SEE BELOW	ZONING AMENDMENT FEE: SEE BELOW	VARIANCE FEE: \$200.00	✓
<b>MINIMUM FEE: \$275.00</b>  <b>PLUS \$10.00 PER 1,000 SQUARE FT. OF FLOOR AREA FOR BUSINESS, COMMERCIAL AND INDUSTRIAL BUILDINGS.</b>	<b>\$200.00</b>  <b>PLUS \$10.00 PER DWELLING UNIT FOR:</b> <ol style="list-style-type: none"> <li>1. Residential Cluster</li> <li>2. Developments</li> <li>3. Townhouses</li> <li>4. Townhouse Developments</li> <li>5. Two-Family and Multi-Family Dwellings</li> <li>6. Multi-Family/Condominium Developments</li> <li>7. Mobile or Manufactured Home Parks</li> <li>8. Subdivisions</li> </ol>	<b>FROM ANY DISTRICT TO RESIDENTIAL \$50.00 PLUS \$ 5.00 PER ACRE OR PART OF AN ACRE \$1,250.00 MAXIMUM FEE.</b>  <b>FROM ANY DISTRICT TO COMMERCIAL \$75.00 PLUS \$ 15.00 PER ACRE OR PART OF AN ACRE \$750.00 MAXIMUM FEE.</b>  <b>FROM ANY DISTRICT TO INDUSTRIAL \$150.00 PLUS \$ 20.00 PER ACRE OR PART OF AN ACRE \$1,000.00 MAXIMUM FEE.</b>  <b>FROM ANY DISTRICT TO PRESERVATION \$10.00 PLUS \$1.00 PER ACRE OR PART OF AN ACRE \$100.00 MAXIMUM FEE.</b>	<b>FEE: \$200.00</b>  <b>APPEAL: \$200.00</b>	
The undersigned hereby requests the Camden Planning Commission to grant Site Plan Approval.	The undersigned hereby requests Town Council Approval of a Site Plan for a Conditional Use.	The undersigned petitions Town Council to amend the Zoning District Map.	The undersigned hereby petitions the Board of Adjustment to grant a variance.	
Property address:				
Property location: Corner at South Dupont Highway & Road A & East Street				
Lot number, subdivision name or other identification				
Name and address of legal owner: CARL P. KING REAL ESTATE, L.L., 27690 Sterling Blvd., Millsboro, DE 19966				
Lessee, Attorney, Engineer, or other interested party: Bohler Engineering VA, LLC 18958 Coastal Highway, Suite D, Rehoboth Beach, DE 19971				
Present Zoning District: C-2 (Highway Commercial District)		Present Use: Vacant		
Proposed Zoning District: C-2 (Highway Commercial District)		Proposed Use: Commercial / McDonald's Restaurant		
Description of property subject to this request:				
Area: 55,536 SF (1.28 Ac.)		Width: 183'		
Depth: 305'		Setback: 40' Front, 15' Side, 20' Rear		
Area of any adjacent property that is under the same ownership:				



Existing Sanitary facilities: CWSWA		Existing Water Supply: CWSWA
Proposed sanitary facilities: CWSWA		Proposed water supply: CWSWA
Please describe any proposed new construction to be erected on the property:		
Number of parking spaces: <u>43</u>	Building size: <u>4,540 SF</u>	Building height: <u>1 story</u>
Units per acre: <u>1</u>	Number of units: <u>1</u>	Number of buildings: <u>1</u>

Applications to Planning Commission, Town Council or Board of Adjustment

**SYNOPSIS OF REQUEST TO INCLUDE REASON(S) FOR APPLICATION:**

Variance from Section 240-32 of the Town of Camden Sign Ordinance for relief related to the following:

Section F: - Relief to allow in excess of allowable sign quantity for ~~three~~<sup>six</sup> wall signs & area to a maximum size of 33± SF for each.

Variance from Section 240-30 of the Town of Camden Parking Ordinance for relief related to the following:

Section D: - Relief to allow minimum number of parking spaces to be ~~43~~<sup>42</sup> total, which is ~~6~~<sup>7</sup> below the calculated minimum of 49.

Section E: - Relief to allow minimum area for parking stalls to 180± SF.

Variance from Section 240-33 of the Town of Camden Landscaping/Screening Ordinance for relief related to the following:

Section I: - Relief from planted islands for every 10 parking spaces, as the greatest parking row length is ~~12~~<sup>15</sup> spaces.

**Please list all attachments and documentation applicable to request:**

- Coverletter

- Site Plan

- Review Fee

I/We certify that the above information and any attached information is true and correct to the best of my/our knowledge.

Signature of legal owner (if not applicant) \_\_\_\_\_

Signature of applicant: \_\_\_\_\_

*McDonald's USA LLC.*

Cover sheet for applications to Planning Commission, Town Council or Board of Adjustment

### FOR OFFICE USE ONLY

Application or Petition Number: \_\_\_\_\_

Zoning District Map Number: \_\_\_\_\_

Site Plan Number: \_\_\_\_\_

Modified Grid Number: \_\_\_\_\_

#### SITE PLAN REVIEW:

Preliminary site plan reviewed by: \_\_\_\_\_

Date: \_\_\_\_\_

Recommendation: \_\_\_\_\_

#### HEARING AND MEETING SUMMARY:

Planning Commission Hearing Date: \_\_\_\_\_

Planning Commission Meeting Date: \_\_\_\_\_

Action taken by Planning Commission: \_\_\_\_\_

Town Council Hearing Date: \_\_\_\_\_

Town Council Meeting Date: \_\_\_\_\_

Action taken by Town Council: \_\_\_\_\_

Board of Adjustment Hearing Date: \_\_\_\_\_

Action taken by Board of Adjustment: \_\_\_\_\_

Appeal Board of Adjustment Date: \_\_\_\_\_

Result of Appeal: \_\_\_\_\_

### FEE COLLECTION RECORD:

Amount received: \$ \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

Payment Method: \_\_\_\_\_

FEE SCHEDULE INCREASE EFFECTIVE JULY 1, 2001

AMENDMENT TO ZONING DISTRICT MAP APPLICATIONS*				
FROM	TO	MINIMUM FEE	PER ACRE OR PART OF AN ACRE	MAXIMUM FEE
ANY DISTRICT	RESIDENTIAL	\$ 50.00	PLUS \$ 5.00	\$1,250.00
ANY DISTRICT	COMMERCIAL	\$ 75.00	PLUS \$15.00	\$ 750.00
ANY DISTRICT	INDUSTRIAL	\$150.00	PLUS \$20.00	\$1,000.00
ANY DISTRICT	PRESERVATION	\$ 10.00	PLUS \$ 1.00	\$ 100.00

CONDITIONAL USE APPLICATIONS*	
\$200.00	PLUS \$10.00 PER DWELLING UNIT FOR: 9. Residential Cluster 10. Developments 11. Townhouses 12. Townhouse Developments 13. Two-Family and Multi-Family Dwellings 14. Multi-Family/Condominium Developments 15. Mobile or Manufactured Home Parks 16. Subdivisions

APPROVAL OF SITE PLAN APPLICATIONS* (OTHER THAN CONDITIONAL USES)	
MINIMUM FEE	FILING FEE
\$275.00	PLUS \$10.00 Per 1,000 square ft. of floor area for business, commercial, and industrial buildings.

VARIANCE APPLICATIONS*
\$200.00

APPEALS*
\$200.00 (Refundable if board finds in favor of applicant)

**\*ALL APPLICATIONS MUST BE COMPLETE AND SUBMITTED  
WITH PAYMENT FOR CONSIDERATION**



— FOR —  
**MCDONALD'S USA, LLC.**

**LOCATION OF SITE**  
**EAST STREET, TOWN OF CAMDEN**  
**KENT COUNTY, DELAWARE**  
**TAX MAP#: 7-02-09400-01-1502-00001**

**TAX MAP#: 7-02-09400-01-1502-00001**

## SITE DATA

- TAX MAP #: 7-02-09400-01-1502-0001  
DEED REF.: DB 7305/0070 & DB 32810303  
OWNER: CARL P. KING REAL ESTATE, LLC  
TOTAL EXISTING SITE AREA: 1.28± AC  
TOTAL PROPOSED AREA: 1.28± AC
- ZONE: EXISTING ZONE: C-2  
PROPOSED ZONE: C-2  
EXISTING USE: VACANT  
PROPOSED USE: RESTAURANT WITH DRIVE THROUGH, MCDONALD/S (PERMITTED BY RIGHT)
- OWNER:  
CARL P. KING REAL ESTATE, L.L.  
27690 STERLING BLVD  
MILLSBORO, DE 19966  
CONTACT: BRUCE KING
- APPLICANT:  
MICROEROSION SUPPLY USA, LLC  
6903 ROCKLEDGE DRIVE, SUITE 1100  
BETHESDA, MD 20817  
CONTACT: JOHNATHAN BASKE  
PHONE: (301) 333-8622
- ENGINEER:  
BOWLER ENGINEERING  
18958 COASTAL HIGHWAY, SUITE D  
REHOBOTH BEACH, DE 19971  
CONTACT: STEVEN T. FORTUNATO, P.E.  
PHONE: (302) 644-1155
- EXISTING CONDITIONS INFORMATION REFERENCED HEREIN BY A PLAN/SURVEY/REPORT COMPLETED BY:  
A. BOUNDARY AND TOPO SURVEY  
CONTROL POINT ASSOCIATES, INC.  
1600 MANOR DRIVE, SUITE 210  
CHALFONT, PA 18194  
REVISED: 11/18/19  
HORIZONTAL DATUM: NAD 83, VERTICAL DATUM: NAVD 88
- ACCORDING TO THE NATIONAL WETLANDS INVENTORY MAPPING, THERE ARE NO WETLANDS PRESENT ON THIS SITE.
- THE SITE IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP#10001C0231H, REVISED MAY 5, 2003. THE SITE IS WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PLAIN).
- THIS SITE IS SERVED BY A REGIONAL STORMWATER MANAGEMENT SYSTEM. STORMWATER MANAGEMENT FACILITIES SHALL BE CONSTRUCTED AS PART OF THIS PROJECT. DRAINAGE EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH THE DELAWARE SEDIMENT & STORMWATER REGULATIONS (LATEST EDITION). MAINTENANCE OF DRAINAGE AND SEDIMENT & EROSION CONTROL PRACTICES SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR DURING THE CONSTRUCTION PHASE OF THE PROJECT. INCLUDING CONSTRUCTION OF THE UTILITIES PERMANENT DRAINAGE FACILITIES HAVE BEEN COMPLETED TO THE SATISFACTION OF THE APPLICABLE AGENCIES, MAINTENANCE SHALL ULTIMATELY BECOME THE RESPONSIBILITY OF THE PROPERTY OWNER. THE KENT CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURE AS DEEMED NECESSARY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF OPEN SPACE, INCLUDING STORMWATER MANAGEMENT, COMMON, BUFFER AND LANDSCAPED AREAS.
- WATER SUPPLY FOR THIS SITE IS TO BE PROVIDED BY THE CAMDEN-WYOMING SEWER & WATER AUTHORITY AND IS SUBJECT TO THE APPROVAL OF THE CAMDEN-WYOMING SEWER & WATER AUTHORITY, DELAWARE DIVISION OF PUBLIC HEALTH, OFFICE OF THE ATTORNEY GENERAL, DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL AND/OR THE TOWN OF CAMDEN
- WASTEWATER TREATMENT FOR THIS SITE IS TO BE PROVIDED BY KENT COUNTY AND IS SUBJECT TO THE APPROVAL OF THE KENT COUNTY PUBLIC WORKS DEPARTMENT AND/OR DNRC.
- PRELIMINARY SOIL INVESTIGATIONS INDICATE THE PRESENCE OF SOIL TYPE S1A (SASSAFRAS LOAM, 0 TO 2% SLOPES) AND S&B (SASSAFRAS SANDY LOAM, 2 TO 5% SLOPES) PER THE USDA ONLINE SOIL MAPPING SERVICE.
- ZONING AND PRESENT LAND USE INFORMATION FOR ADJOINING PROPERTIES OBTAINED FROM THE TOWN OF CAMDEN AND KENT COUNTY ONLINE MAP AND ARE CURRENT TO THE DATE NOTED ON THIS SUBMITTAL.
- STRUCTURE: WOOD LOAD BEARING WALLS AND WOOD ROOF FRAMING  
CONSTRUCTION TYPE: VB
- THE FOLLOWING VARIANCES WILL BE REQUESTED:
- VARIANCE FROM SECTION 240-32 OF THE TOWN OF CAMDEN SIGN ORDINANCE FOR RELIEF RELATED TO THE FOLLOWING:  
SECTION F - RELIEF TO ALLOW IN EXCESS OF ALLOWABLE SIGN QUANTITY FOR SIX WALL SIGNS & AREA TO A MAXIMUM SIZE OF 33± SF FOR EACH.
- VARIANCE FROM SECTION 240-30 OF THE TOWN OF CAMDEN PARKING ORDINANCE FOR RELIEF RELATED TO THE FOLLOWING:  
SECTION D - RELIEF TO ALLOW MINIMUM NUMBER OF PARKING SPACES TO BE 42 TOTAL, WHICH IS 7 BELOW THE CALCULATED MINIMUM OF 49
- SECTION E - RELIEF TO ALLOW MINIMUM AREA FOR PARKING STALLS TO 180± SF
- VARIANCE FROM SECTION 240-33 OF THE TOWN OF CAMDEN LANDSCAPING/SCREENING ORDINANCE FOR RELIEF RELATED TO THE FOLLOWING:  
SECTION I - RELIEF FROM PLANTED ISLANDS FOR EVERY 10 PARKING SPACES, AS THE GREATEST PARKING ROW LENGTH IS 15 SPACES.

SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
DEMOLITION PLAN	C-201
SITE PLAN	C-301
GRADING PLAN	C-401
UTILITY PLAN	C-501
LANDSCAPE PLAN	C-701
LANDSCAPE DETAILS	C-702
LIGHTING PLAN (BY OTHERS)	1 OF 1

OWNERS CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNRCS SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNRCS SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE VERIFICATION, AND UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT.

BRUCE KING \_\_\_\_\_ DATE \_\_\_\_\_  
CARL P. KING REAL ESTATE, L.L.C.

SITE DESIGNER/ENGINEER CERTIFICATION


I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER WITH A BACKGROUND IN CIVIL ENGINEERING IN THE STATE OF DELAWARE AND THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE LOCAL AND STATE REGULATIONS AND ORDINANCES.

STEVEN T. FORTUNATO, P.E. BOHLER 18958 SOASTAL HWY, SUITE D REHOBOTH BEACH, DE 19871	DATE _____
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IT HEREBY IS CERTIFIED THAT THIS SUBDIVISION PLOT PLAN WAS GRANTED FINAL  
APPROVAL BY THE TOWN OF CAMDEN, DELAWARE, ON \_\_\_\_\_ AND ACCORDINGLY  
IS ELIGIBLE FOR RECORDING IN THE OFFICE OF THE RECORDER OF DEEDS FOR KENT  
COUNTY, DELAWARE.

\_\_\_\_\_  
MAYOR OR DESIGNEE

<b>SITE IMPROVEMENT PLANS</b>		
PLAN SCALE: AS NOTED		
STREET ADDRESS EAST STREET		
KING COMMERCIAL DEVELOPMENT		LOT NUMBER 3
TOWN CAMDEN	COUNTY KENT COUNTY	STATE DE
REGIONAL DWG. NO DE190053	PLAN DESCRIPTION COVER SHEET	
CAD FILE: DE190053-PSP-1		

C-101	PLAN APPROVALS		<div><p>THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.</p><p>OFFICE _____ MCDONALD'S CORPORATE _____</p><p>ADDRESS _____ 110 NORTH CARPENTER STREET CHICAGO, IL 60607 (830) 622-3000</p></div>	REV	DATE	DESCRIPTION	BY	ISSUE REF.				
	SIGNATURE (2 REQUIRED)								1	05/01/20	REVISION PER NEW LAYOUT	
	REGIONAL MGR.											
	CONST. MGR.											
	OPERATIONS DEPT.											
	REAL ESTATE DEPT.											
	CO-SIGN SIGNATURES											
	CONTRACTOR											
	OWNER											
	STATUS	DATE										BY
PRELIMINARY	02/18/20	JSW										
PLAN CHECKED	02/18/20	ANM										
AS-BUILT												

FINAL PLAN SIGNATURES	
P.M. _____	
G.C. _____	
O/O _____	

## PLAN REFERENCES AND CONTACTS

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<b><u>REFERENCES</u></b> ♦ <b><u>BOUNDARY &amp; TOPOGRAPHIC SURVEY</u></b> CONTROL POINT ASSOCIATES 1600 MANOR DRIVE, SUITE 210 CHALFANT, PA 18814 DATED: 11/18/2019 (REV. 1) JOB # : SURVEY JOB #	<b><u>CHESAPEAKE UTILITIES</u></b> 509 SULLY LAKE BOULEVARD DOVER, DE 19904 (302) 734-8797 (P) (302) 734-8750 (F)
<b><u>GOVERNING AGENCIES</u></b>  DNREC, DIVISION OF SOIL AND WATER CONSERVATION SEDIMENT AND STORMWATER PROGRAM JOANNE GEDNEY 89 KINGS HIGHWAY DOVER, DE 19901 (302) 739-9921 (P)	<b><u>DELMARVA POWER/PREMIER</u></b> 5 COLLINS DRIVE, MAIL STOP #6422 CARMYSEY POINT, NJ 08069 (866) 634-5571 (P) (866) 551-7623 (F)
<b><u>TOWN OF CAMDEN</u></b>  JAMIE FENSKE 1783 FRIENDS WAY CAMDEN, DE 19904 (302) 687-2206 (P) (302) 687-9115 (F)	<b><u>KENT CONSERVATION DISTRICT</u></b>  JARED ADKINS, P. E. 800 BAY ROAD, SUITE 2 DOVER, DE 19904 (302) 741-2600, EXT. 3 (P) (302) 741-0347 (F)
<b><u>CAMDEN-WYOMING SEWER &amp; WATER AUTHORITY</u></b>  SOMHEL GHAREBAGHI, P.E. P.O. BOX 406 CAMDEN-WYOMING, DE 19934 (302) 687-6372 (P) (302) 687-2735 (F)	<b><u>STATE FIRE MARSHAL</u></b>  WILLIAM KELLY 1637 CHESTNUT GROVE ROAD DOVER, DE 19904 (302) 739-4394 (P) (302) 739-3696 (F)
	<b><u>VERIZON</u></b>  (866) 397-5153 (P)
	<b><u>COMCAST (PREMIER)</u></b>  (800) 328-3698 (P)
	<b><u>KENT COUNTY DEPARTMENT OF PUBLIC WORKS</u></b>  555 BAY ROAD DOVER, DE 19901 PHONE: (302) 744-2420

**LOCATION MAP**  
SCALE: 1" = 2000'  
PLAN REFERENCE:  
Copyright 2009  
DELORME STREET ATLAS USA 2009 PLUS

OWNER	APPLICANT
CARL P. KING REAL ESTATE, L.L. 27690 STERLING BLVD MILLSBORO, DE 19966 BRUCE KING	MCDONALD 6903 ROCKLEDGE BETHESDA JOHNATHAN PHOENIX, AZ

**APPLICANT**  
MCDONALD'S USA, LLC  
6903 ROCKLEDGE DRIVE, SUITE 1100  
BETHESDA, MD 20817  
JOHNATHAN BASKE  
PHONE: (609)-3383622

PREPARED BY

**BOHLER //**

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CONTACT: STEVEN T. FORTUNATO, P.E.

**BOHLER //**

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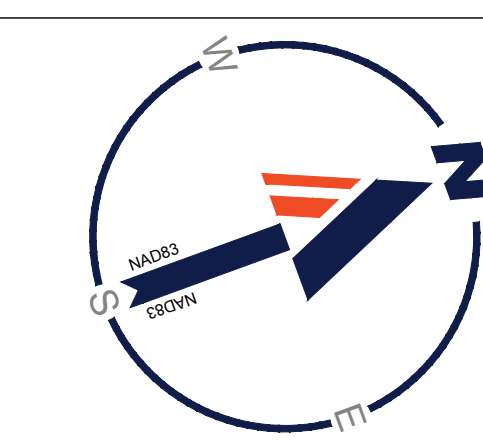
**18958 COASTAL HWY, SUITE D  
REHOBOTH BEACH, DE 19971**

Phone: (302) 644-1155  
Fax: (302) 703-3173

***BohlerEngineering.com***

A circular professional engineer seal for S.T. Fortunato, Delaware. The seal features the text "NEW J. FORTUNATO" at the top, "S.T. FORTUNATO" in the center, "LICENSE" below the name, "No. 19519" below the license number, "05/01/2020" for the expiration date, and "PROFESSIONAL ENGINEER" and "DELAWARE" at the bottom. A signature is written across the seal.





1. PROPERTY KNOWN AS PARCEL 7-02-09400-01-1502-0001 AS IDENTIFIED ON THE TAX MAPS OF THE TOWN OF CAMDEN (NORTH MURDERKILL HUNDRED), KENT COUNTY, STATE OF DELAWARE.
2. AREA = 55,536± S.F. OR 1.28± AC.
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND RECORDS WITHOUT MARK-OUT MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED, BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREIN.
5. THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 78001 B7 02/09/09 HCS, WITH A COMMITMENT DATE OF 7-31-2019, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II:

- ② MORTGAGE: \$1,250.00 FROM CALVIN CLARK TO WILLIAM LAWS, DATED MAY 16, 1936 AND RECORDED MAY 16, 1936 IN MORTGAGE RECORD E VOLUME 6 PAGE 124 - NOT SURVEY RELATED. - AFFECTS SUBJECT PROPERTY.
- ③ MORTGAGE (FUTURE ADVANCES): \$25,000.00 FROM CARL KING, INC. TO THE FIRST NATIONAL BANK OF BOSTON, DATED JUNE 30, 1987 AND RECORDED JULY 1, 1987 IN MORTGAGE RECORD I VOLUME 31 PAGE 94 - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.

THE ABOVE MORTGAGE APPEARS TO BE AN OPEN END MORTGAGE SECURING FUTURE ADVANCES. IF THIS MORTGAGE IS TO BE PAID IN FULL/SATISFIED AND REMOVED FROM THE POLICY TO BE ISSUED ON THIS MATTER, THE EQUITY LOAN ACCOUNT IS TO BE CLOSED OR FROZEN BEFORE THE PAYOFF IS ISSUED. ANOTHER STEP THAT IS OFTEN REQUIRED BY THE LINE OF CREDIT MORTGAGE LENDER IS A CLOSE OUT LETTER SIGNED BY THE MORTGAGOR/FEE OWNER IN ORDER FOR THE LENDER TO PROCEED TO SATISFY THE MORTGAGE.

- 4 SUBORDINATION AGREEMENT: BETWEEN THE FIRST NATIONAL BANK OF BOSTON AS AGENT FOR THE FIRST NATIONAL BANK OF BOSTON AND BAYBANK BOSTON AND WILMINGTON TRUST COMPANY, DATED JUNE 30, 1988 AND RECORDED JUNE 30, 1988 IN DEED RECORD E VOLUME 45 PAGE 265 . NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.

5 MORTGAGE (FUTURE ADVANCES): \$4,500,000.00 FROM CARL P. KING REAL ESTATE, L.L.C. TO COUNTY BANK, DATE SEPTEMBER 28, 2018 AND RECORDED OCTOBER 1, 2018 IN MORTGAGE RECORD 9310 PAGE 154. NOT SURVEY RELATED- AFFECTS SUBJECT PROPERTY.

THE ABOVE MORTGAGE APPEARS TO BE AN OPEN END MORTGAGE SECURING FUTURE ADVANCES. IF THIS MORTGAGE IS TO BE PAID IN FULL/SATISFIED AND REMOVED FROM THE POLICY TO BE ISSUED ON THIS MATTER, THE EQUITY LOAN ACCOUNT IS TO BE CLOSED OR FROZEN BEFORE THE PAYOFF IS ISSUED. ANOTHER SET OF CLOSING COSTS WILL BE REQUIRED BY THE LINE OF CREDIT MORTGAGE LENDER IS A CLOSE OUT LETTER SIGNED BY THE MORTGAGOR/FEE OWNER IN ORDER FOR THE LENDER TO PROCEED TO SATISFY THE MORTGAGE.

- 6 ASSIGNMENT OF RENTS: BETWEEN CARL P. KING REAL ESTATE, L.L.C. AND COUNTY BANK, DATED SEPTEMBER 28, 2018 AND RECORDED OCTOBER 1, 2018 IN ASSIGNMENT RECORD 9310 PAGE 168. NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
- 7 SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT: BY AND BETWEEN WAWA, INC. AND COUNTY BANK, DATED MAY 30, 2019 AND RECORDED JUNE 4, 2019 IN RECORD BOOK 9620 PAGE 245. NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
- 8 SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT: BY AND BETWEEN WAWA, INC. AND COUNTY BANK, DATED MAY 30, 2019 AND RECORDED JUNE 4, 2019 IN RECORD BOOK 9620 PAGE 245. NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.

9 MORTGAGE (FUTURE ADVANCES): \$900,000.00 FROM CARL P. KING REAL ESTATE, L.L.C. TO COUNTY BANK, DATED MAY 30, 2019 AND RECORDED JUNE 4, 2019 IN 9620 PAGE 253. - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.

THE ABOVE MORTGAGE APPEARS TO BE AN OPEN END MORTGAGE SECURING FUTURE ADVANCES. IF THIS MORTGAGE IS TO BE PAID IN FULL/SATISFIED AND REMOVED FROM THE POLICY TO BE ISSUED ON THIS MATTER, THE EQUITY LOAN ACCOUNT IS TO BE CLOSED OR FROZEN BEFORE THE PAYOFF IS ISSUED. ANOTHER STEP THAT IS OFTEN REQUIRED BY THE LINE OF CREDIT MORTGAGE LENDER IS A CLOSE OUT LETTER SIGNED BY THE MORTGAGOR/FEE OWNER IN ORDER FOR THE LENDER TO PROCEED TO SATISFY THE MORTGAGE.

- 10 ASSIGNMENT OF RENTS: BETWEEN CARL P. KING REAL ESTATE, L.L.C. AND COUNTY BANK, DATED MAY 30, 2019 AND RECORDED JUNE 4, 2019 IN ASSIGNMENT RECORD 9620 PAGE 266. - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
- 11 RIGHT OF WAY AGREEMENT: TO DELAWARE POWER & LIGHT COMPANY, DATED MARCH 22, 1950 AND RECORDED APRIL 26, 1950 IN DEED RECORD A VOLUME 19 PAGE 459. - LOCATION CAN NOT BE DETERMINED - UNABLE TO DETERMINE AFFECT - EXISTING POLES ON AND ADJACENT TO SUBJECT PROPERTY.

- (12) RIGHT OF WAY AGREEMENT: TO DELAWARE POWER & LIGHT COMPANY, DATED MARCH 28, 1950 AND RECORDED APRIL 26, 1950 IN DEED RECORD A VOLUME 19 PAGE 464. - LOCATION CAN NOT BE DETERMINED - UNABLE TO DETERMINE AFFECT - EXISTING POLES ON AND ADJACENT TO SUBJECT PROPERTY.

- (13) RIGHT OF WAY: TO DELAWARE POWER & LIGHT COMPANY RECORDED AUGUST 25, 1955 IN DEED RECORD C VOLUME 21 PAGE 110. - LOCATION CAN NOT BE DETERMINED - UNABLE TO DETERMINE AFFECT. - EXISTING POLES ON AND ADJACENT TO SUBJECT PROPERTY.

- RIGHT OF INGRESS, EGRESS AND REGRESS: BETWEEN BRADLEY V. KING AND BLANCHE H. KING AND CARL P. KING AND HATTIE E. KING, DATED FEBRUARY 9, 1962 AND RECORDED FEBRUARY 9, 1962 IN DEED RECORD T VOLUME 22 PAGE 506. - LOCATED OFF SITE. - DOES NOT AFFECT SUBJECT PROPERTY.

- (15) RIGHT OF WAY. TO DELMARVA POWER & LIGHT COMPANY, DATED DECEMBER 13, 1978 AND RECORDED JANUARY 5, 1979 IN DEED RECORD M VOLUME 33 PAGE 73. - LOCATED OFFSITE- DOES NOT AFFECT SUBJECT PROPERTY.

- UTILITY EASEMENT AGREEMENT: BETWEEN CARLINS, INC. AND DELMARVA POWER & LIGHT COMPANY, DATED NOVEMBER 20, 1990 AND RECORDED JANUARY 28, 1991 IN DEED RECORD M VOLUME 49 PAGE 218. - LOCATION CAN NOT BE DETERMINED - UNABLE TO DETERMINE AFFECT. - EXISTING POLES ON AND ADJACENT TO SUBJECT PROPERTY.

- 17 SANITARY SEWER EASEMENT AND RIGHT OF WAY: BETWEEN CARL P. KING AND THE CAMDEN-WYOMING SEWER AND WATER AUTHORITY, DATED NOVEMBER 22, 1999 AND RECORDED DECEMBER 6, 1999 IN DEED RECORD 341 PAGE 313. - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY.

- 18 SANITARY SEWER EASEMENT AND RIGHT OF WAY: BETWEEN ROBERTA HOLT AND THE  
CAMDEN-WYOMING SEWER AND WATER AUTHORITY, DATED NOVEMBER 19, 1999 AND RECORDED  
DECEMBER 6, 1999 IN DEED RECORD 341 PAGE 319. - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT  
PROPERTY.

- 19 PERMANENT EASEMENT FOR INGRESS AND EGRESS: BETWEEN CARL P. KING REAL ESTATE LLC AND BLUE HEN REALTY CORPORATION, DATED APRIL 21, 2006 AND RECORDED APRIL 27, 2006 IN DEED RECORD 2006 PAGE 159 (CHAIN DEED) - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY

- (20) PERMANENT EASEMENT FOR INGRESS AND EGRESS: BETWEEN BLUE HEN REALTY CORPORATION AND CARL P. KING REAL ESTATE LLC, DATED APRIL 21, 2006 AND RECORDED SEPTEMBER 22, 2006 IN DEED RECORD 3261 PAGE 303 (CHAIN DEED) - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY

- (21) PERMANENT EASEMENT FOR INGRESS AND EGRESS: BETWEEN CARL P. KING REAL ESTATE, L.L.C. AND MORLAW TRUSTEE CORP., DATED DECEMBER 11, 2009 AND RECORDED DECEMBER 21, 2009 IN DEED RECORD 5250 PAGE 144 (CHAIN DEED). - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY.

- (22) PERMANENT EASEMENT FOR INGRESS AND EGRESS: BETWEEN MORLAW TRUSTEE CORP. AND CARL P. KING REAL ESTATE, L.L.C. AND BLUE HEN REALTY CORPORATION, DATED DECEMBER 11, 2009 AND RECORDED DECEMBER 21, 2009 IN DEED RECORD 5250 PAGE 149 (TITLE DEED). - LOCATED OFF SITE-

- (23) TRAFFIC SIGNAL INSTALLATION AND MAINTENANCE AGREEMENT: BY AND BETWEEN DELAWARE DEPARTMENT OF TRANSPORTATION AND CARL P. KING REAL ESTATE LLC, DATED FEBRUARY 17, 2017

**BOHLER**

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**18958 COASTAL HWY, SUITE D  
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***BohlerEngineering.com***



## DEMOLITION CONSTRUCTION NOTES

R-1	EXISTING SIGN TO BE REMOVED
R-2	REMOVE EXISTING PAVEMENT AS NEEDED FOR CONSTRUCTION. SAW CUT EXISTING PAVEMENT IN STRAIGHT LINES (TYP)
R-3	REMOVE EXISTING CONCRETE CURB AS NEEDED FOR CONSTRUCTION (TYP)
R-4	REMOVE EXISTING CONCRETE SIDEWALK AS NEEDED FOR CONSTRUCTION (TYP)
R-5	RESERVED
R-6	REMOVE AND RELOCATE EXISTING TELEPHONE LINE PER PROVIDER SPECIFICATION AND CONNECT PROPOSED TELEPHONE LINE. SEE UTILITY PLAN FOR MORE INFO. COORDINATE REMOVAL WITH UTILITY COMPANY. REFERENCE ANALYTICAL TEST PIT DUE DILIGENCE REQUIRED BY THE GC SHOWN ON SHEET C-501.
R-7	PROPOSED SAWCUT
R-8	REMOVE EXISTING FLARED END SECTION
R-9	REMOVE EXISTING STONE
R-10	EXISTING STONE AREA TO BE VERIFIED AND UTILIZED IF POSSIBLE FOR BASE OF PROPOSED SIDEWALK. IF NOT SUITABLE PER SIDEWALK DETAIL, GC TO REMOVE.
R-11	REMOVE PORTION OF EXISTING STORM PIPE. SEE UTILITY PLAN FOR DETAILS

<b>SITE IMPROVEMENT PLANS</b>	
PLAN SCALE: AS NOTED	
STREET ADDRESS EAST STREET	
KING COMMERCIAL DEVELOPMENT	LOT NUMBER 3
TOWN CAMDEN	COUNTY KENT COUNTY
STATE DE	
PROJECT DWG. NO. DE190053	PLAN DESCRIPTION DEMOLITION PLAN
CADD FILE: DE190053-PSP-1	

PLAN APPROVALS		DATE	FINAL PLAN SIGNATURES	REV	DATE	DESCRIPTION	BY	ISSUE REF
REGIONAL MGR.			P.M.	1	05/01/20	REVISION PER NEW LAYOUT	JSW	
CONST. MGR.								
OPERATIONS DEPT.								
REAL ESTATE DEPT.								
CO-SIGN SIGNATURES								
CONTRACTOR								
OWNER								
OFFICE		McDonald's®						
ADDRESS		THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.						
		MCDONALD'S CORPORATE						
		110 NORTH CARPENTER STREET						
		CHICAGO, IL 60607 (630) 623-3000						

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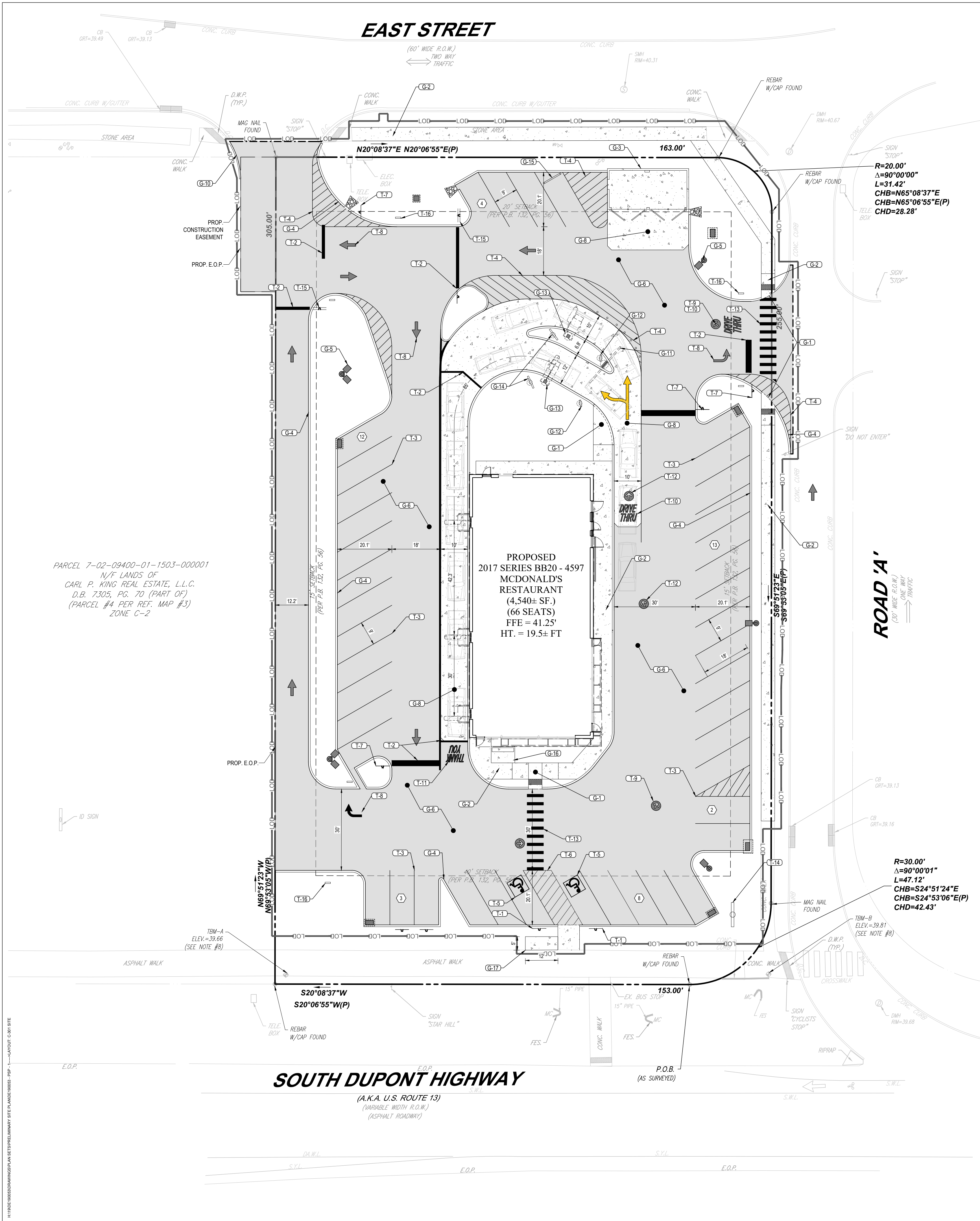
MCDONALD'S CORPORATE

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110 NORTH CARPENTER STREET  
CHICAGO, IL 60607 (630) 623-3000

OFFICE  
ADDRESS





### HATCH LEGEND

	PROP. CONCRETE
	PROP. HEAVY DUTY CONCRETE
	PROP. ASPHALT

### GENERAL CONSTRUCTION NOTES

- G-1 INSTALL TYPE 1-A ACCESSIBLE RAMP IN ACCORDANCE WITH LATEST ADA STANDARDS (TYP) 12:1 MAX SLOPE.
- G-2 INSTALL 4" THICK CONCRETE SIDEWALK.
- G-3 PROPOSED TRASH ENCLOSURE ON CONCRETE PAD. REFERENCE PLANS BY ARCHITECT.
- G-4 PROPOSED TYPE 1-6 P.C.C. CURB PER DEMUTCD, LATEST REVISION TO MATCH EXISTING.
- G-5 PROPOSED LIGHT FIXTURE SHOWN FOR REFERENCE ONLY. SEE LIGHTING PLAN FOR DETAILS.
- G-6 INSTALL FULL DEPTH PAVEMENT SECTION.
- G-7 RESERVED
- G-8 INSTALL CONCRETE PAVEMENT.
- G-9 RESERVED
- G-10 PROPOSED DELDOT TYPE 3-6 INTEGRAL P.C.C. CURB AND GUTTER PER DEMUTCD, LATEST REVISION TO MATCH EXISTING.
- G-11 PROPOSED GATEWAY CLEARANCE BAR, REFERENCE MCDONALD'S SPECS
- G-12 PROPOSED PRE-BROWSE MENU BOARD, REFERENCE MCDONALD'S SPEC
- G-13 PROPOSED COD SPEAKER WITH "ORDER HERE, CANOPY SIGN AND AUTO LOOP DETECTOR, REFERENCE MCDONALD'S SPEC
- G-14 PROPOSED OUTDOOR DISPLAY MENU BOARD, REFERENCE OWNER SPECS
- G-15 PROPOSED HORSE HITCH
- G-16 PROPOSED BIKE RACK
- G-17 PROPOSED DELDOT BUS PAD PER DEMUTCD, LATEST REVISION.

### STRIPING AND SIGNAGE CONSTRUCTION NOTES

- T-1 PROP. VAN ACCESSIBLE HANDICAPPED SIGN (TYP).
- T-2 PROPOSED 16" WIDE WHITE THERMO STOP BAR (TYP)
- T-3 PROPOSED EPOXY STRIPING - 4" SOLID WHITE LINE (TYP)
- T-4 PROPOSED EPOXY STRIPING - 4" SOLID WHITE CROSS HATCH (@45°, SPACED 5' O.C.) TO DELINEATE NO PARKING ZONE
- T-5 PROPOSED EPOXY STRIPING - 4" HANDICAPPED BLUE PARKING SYMBOL
- T-6 PROPOSED EPOXY STRIPING - 4" SOLID HANDICAPPED BLUE CROSS HATCH (@45°, SPACED 2' O.C.)(TYP)
- T-7 PROPOSED "STOP" SIGN 36"x36" PER DEMUTCD, LATEST REVISION
- T-8 PROPOSED WHITE THERMOPLASTIC ARROW (TYP)
- T-9 PROPOSED THERMOPLASTIC "DRIVE THRU" WITH ARROW PER MCDONALD'S SPECS (TYP.), REF. SEPARATE SIGNAGE PLAN.
- T-10 PROPOSED THERMOPLASTIC "DRIVE THRU" PER MCDONALD'S SPECS (TYP.), REF. SEPARATE SIGNAGE PLAN.
- T-11 PROPOSED THERMOPLASTIC "THANK YOU" PER MCDONALD'S SPECS (TYP.), REF. SEPARATE SIGNAGE PLAN.
- T-12 PROPOSED DRIVE THRU DIRECTION ARROW PER MCDONALD'S SPECS (TYP.), REF. SEPARATE SIGNAGE PLAN.
- T-13 PROPOSED EPOXY STRIPING - 2" WIDE WHITE THERMOPLASTIC LINE (SPACED 4' O.C.) TO DELINEATE CROSSWALK
- T-14 PROPOSED ID SIGN PER MCDONALD'S SPECS, REF. SEPARATE SIGNAGE SHEET.
- T-15 PROPOSED "STOP" SIGN 36"x36" WITH "DO NOT ENTER" SIGN 36"x36" PER DEMUTCD, LATEST REVISION
- T-16 PROPOSED DIRECTION ARROW PER MCDONALD'S SPECS (TYP.), REF. SEPARATE SIGNAGE PLAN.

### SITE PLAN NOTES:

- TAX MAP #: 7-02-09400-01-1502-0001  
DEED REF.: DB 7305/0070 & DB 3281/0303  
OWNER: CARL P. KING REAL ESTATE, LLC  
TOTAL EXISTING SITE AREA: 1.28± AC  
TOTAL PROPOSED AREA: 1.28± AC
- ZONE: EXISTING ZONE: C-2  
PROPOSED ZONE: C-2  
EXISTING USE: VACANT  
PROPOSED USE: RESTAURANT WITH DRIVE THROUGH, MCDONALD'S (PERMITTED BY RIGHT)
- OWNER: CARL P. KING REAL ESTATE, L.L.  
27690 STERLING BLVD  
MILLSBORO, DE 19966  
CONTACT: BRUCE KING
- APPLICANT: MCDONALD'S USA, LLC  
6903 ROCKLEDGE DRIVE, SUITE 1100  
BETHESDA, MD 20817  
CONTACT: JOHNATHAN BASKE  
PHONE: (609) 3383622
- ENGINEER: BOHLER ENGINEERING  
18958 COASTAL HIGHWAY, SUITE D  
REHOBOTH BEACH, DE 19971  
CONTACT: STEVEN T. FORTUNATO, P.E.  
PHONE: (302) 644-1155
- EXISTING CONDITIONS INFORMATION REFERENCED HEREIN BY A PLAN/SURVEY/REPORT COMPLETED BY:  
A. BOUNDARY AND TOPO SURVEY  
CONTROL POINT ASSOCIATES, INC.  
1600 MANOR DRIVE, SUITE 210  
CHALFONT, PA 18194  
REVISED: 11/18/19  
HORIZONTAL DATUM: NAD 83, VERTICAL DATUM: NAVD 88
- ACCORDING TO THE NATIONAL WETLANDS INVENTORY MAPPING, THERE ARE NO WETLANDS PRESENT ON THIS SITE.
- THE SITE IS LOCATED ON THE FEMA FLOOD INSURANCE RATE MAP#10001C0231H, REVISED MAY 5, 2003. THE SITE IS WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE ANNUAL FLOOD PLAIN).
- THIS SITE IS SERVED BY A REGIONAL STORMWATER MANAGEMENT SYSTEM. STORMWATER MANAGEMENT FACILITIES WILL NOT BE CONSTRUCTED AS PART OF THIS PROJECT. DRAINAGE AND EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH THE DELAWARE SEDIMENT & STORMWATER REGULATIONS (LATEST EDITION). MAINTENANCE OF DRAINAGE AND SEDIMENT CONTROL PRACTICES SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR DURING THE CONSTRUCTION PHASE OF THE PROJECT. INCLUDING CONSTRUCTION OF THE UTILITIES WHEN PERMANENT DRAINAGE FACILITIES HAVE BEEN COMPLETED TO THE SATISFACTION OF THE APPLICABLE AGENCIES, MAINTENANCE SHALL ULTIMATELY BECOME THE RESPONSIBILITY OF THE PROPERTY OWNER. THE KENT CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURE AS DEEMED NECESSARY.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF OPEN SPACE, INCLUDING STORMWATER MANAGEMENT, COMMON, BUFFER AND LANDSCAPED AREAS.
- WATER SUPPLY FOR THIS SITE IS TO BE PROVIDED BY THE CAMDEN-WYOMING SEWER & WATER AUTHORITY AND IS SUBJECT TO THE APPROVAL OF THE CAMDEN-WYOMING SEWER & WATER AUTHORITY. DELAWARE DIVISION OF PUBLIC HEALTH, OFFICE OF DRINKING WATER, DELAWARE STATE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL TREATMENT AND/OR THE TOWN OF CAMDEN.
- WASTEWATER TREATMENT FOR THIS SITE IS TO BE PROVIDED BY KENT COUNTY AND IS SUBJECT TO THE APPROVAL OF THE KENT COUNTY PUBLIC WORKS DEPARTMENT AND/OR DNREC.
- PRELIMINARY SOIL INVESTIGATIONS INDICATE THE PRESENCE OF SOIL TYPE S1A (SASSAFRAS LOAM, 0 TO 2% SLOPES) AND S4cB (SASSAFRAS SANDY LOAM, 2 TO 5% SLOPES) PER THE USDA ONLINE SOIL MAPPING SERVICE.
- ZONING AND PRESENT LAND USE INFORMATION FOR ADJOINING PROPERTIES OBTAINED FROM THE TOWN OF CAMDEN AND KENT COUNTY ONLINE MAP AND ARE CURRENT TO THE DATE DATED ON THIS SUBMITTAL.
- STRUCTURE: WOOD LOAD BEARING WALLS AND WOOD ROOF FRAMING  
CONSTRUCTION TYPE: VB
- THE FOLLOWING VARIANCES WILL BE REQUESTED:
  - 16.1. VARIANCE FROM SECTION 240-32 OF THE TOWN OF CAMDEN SIGN ORDINANCE FOR RELIEF RELATED TO THE FOLLOWING:  
SECTION F - RELIEF TO ALLOW IN EXCESS OF ALLOWABLE SIGN QUANTITY FOR SIX WALL SIGNS & AREA TO A MAXIMUM SIZE OF 33± SF FOR EACH.
  - 16.2. VARIANCE FROM SECTION 240-30 OF THE TOWN OF CAMDEN PARKING ORDINANCE FOR RELIEF RELATED TO THE FOLLOWING:  
SECTION D - RELIEF TO ALLOW MINIMUM NUMBER OF PARKING SPACES TO BE 42 TOTAL, WHICH IS 7 BELOW THE CALCULATED MINIMUM OF 49.
  - SECTION E - RELIEF TO ALLOW MINIMUM AREA FOR PARKING STALLS TO 180± SF.
  - 16.3. VARIANCE FROM SECTION 240-33 OF THE TOWN OF CAMDEN LANDSCAPING/SCREENING ORDINANCE FOR RELIEF RELATED TO THE FOLLOWING:  
SECTION I - RELIEF FROM PLANTED ISLANDS FOR EVERY 10 PARKING SPACES, AS THE GREATEST PARKING ROW LENGTH IS 15 SPACES.
- BULK REQUIREMENTS:

	ALLOWED/REQUIRED	PROVIDED
A. MIN. LOT AREA	9,000 SF	55,536± SF (1.28± AC.)
B. MIN. BUILDING SETBACK		
FRONT SETBACK (US ROUTE 13)	40'	90.73'
INTERIOR SETBACK (SOUTH)	15'	71.57'
SIDE SETBACK (ROAD A)	15'	65.89'
REAR SETBACK (EAST STREET)	20'	116.94'
C. PARKING REQUIREMENTS		
RESTAURANT OR SIMILAR PLACE DISPENSING FOOD, DRINK, OR REFRESHMENTS: 8 SP PER 1000SF GFA + 1 PER EMPLOYEE.	49 (2 ADA) (4540'8"/1000+12)	42 (2 ADA)
D. MIN. PARKING SPACE DIMENSIONS	10' x 20' (200 SF), 8' x 18' (144 SF) (ADA)	10' x 18', 9' x 20', 9' x 21' (208 SF), 8' x 20' (ADA)
E. MIN. DRIVE AISLE WIDTH	24'	24' MINIMUM TWO WAY 18' MINIMUM ONE WAY
F. MAX. BUILDING HEIGHT	45' OR 3.5 STORIES	19.5± (1 STORY)
G. OPEN SPACE	20%	20.1%
H. MAX. BUILDING COVERAGE/TOTAL IMPERVIOUS COVERAGE (% OF LOT)	40/80	8.17/79.9

### SITE IMPROVEMENT PLANS

PLAN SCALE: AS NOTED

STREET ADDRESS  
EAST STREET

LOT NUMBER		STATUS	DATE	BY	
KING COMMERCIAL DEVELOPMENT 3		PRELIMINARY	02/18/20	JSW	
TOWN CAMDEN	COUNTY KENT COUNTY	STATE DE	PLAN CHECKED	02/18/20	ANM
REGIONAL DWG. NO DE190053	PLAN DESCRIPTION SITE PLAN				
CAD FILE: DE190053-PSP-1					

**BOHLER**

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[BohlerEngineering.com](http://BohlerEngineering.com)

STEVEN T. FORTUNATO  
No. 19519  
PROFESSIONAL ENGINEER  
DE 19012020  
DELAWARE  
PROFESSIONAL ENGINEER

REGIONAL MGR.	CONTRACTOR	OWNER
CONTRACTOR	OWNER	

### McDonald's

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CHICAGO, IL 60607 (630) 623-3000

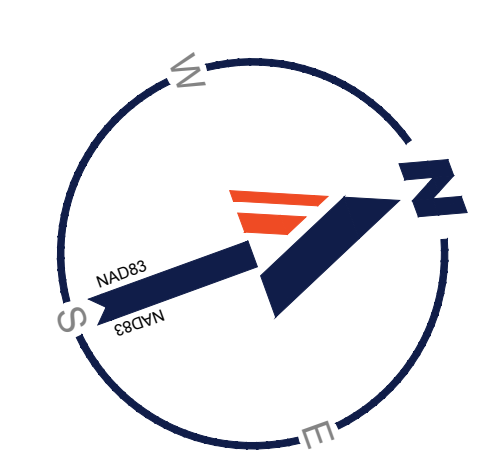
PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY	02/18/20	JSW
REGIONAL MGR.		PLAN CHECKED	02/18/20	ANM
CONTRACTOR		AS-BUILT		

### C-301









D-1	INSTALL PROPOSED STORM DRAIN PIPE (TYP.).
D-2	INSTALL PROPOSED STORM DRAIN CATCH BASIN (TYP.).
D-3	CONNECT ROOF DRAINS TO BUILDING. SEE ARCHITECTURAL/MEP PLANS TO VERIFY CONNECTION LOCATIONS PRIOR TO CONSTRUCTION.
D-4	PROPOSED CURB CUT WITH RIPRAP.
D-5	PROPOSED CURB CUT.
D-6	CONNECT EX. 24" HDPE TO PROPOSED MANHOLE. CONTRACTOR TO ENSURE A WATER TIGHT SEAL AND VERIFY EXISTING PIPE INFORMATION PRIOR TO ORDERING STRUCTURES.

S-1	INSTALL PRE-CAST 1,500 GAL. GREASE INTERCEPTOR.
S-2	INSTALL 6" PVC SDR-35 SANITARY LATERAL (1.0% MINIMUM SLOPE) WITH CLEANOUTS SHOWN AT LOCATIONS HEREON (TYP.).
S-3	PROPOSED SANITARY CLEANOUT
	CONNECT PROPOSED SEWER TO EXISTING CLEANOUT. CLEANOUT CAP SHALL BE ADJUSTED TO FINAL GRADE AFTER CONSTRUCTION IS COMPLETED. CONTRACTOR TO VERIFY DEPTH AND LOCATION. BUILDING PRIOR TO CONSTRUCTION AND REPORT CONDITIONS TO BOWLER.
S-5	CONNECT PROPOSED SEWER TO BUILDING. SEE BUILDING PLUMBING DRAWINGS FOR TIE-IN LOCATIONS AT BUILDING PRIOR TO CONSTRUCTION. GC MUST INSTALL PLUMBING FOR SANITARY SEWER IN ACCORDANCE WITH SECTION 715 OF THE IPC.

W-1	INSTALL 2" WATER METER PER TOWN OF CAMDEN REQUIREMENTS.
W-2	INSTALL 2" SDR-9 POLY PVC PIPE DOMESTIC WATER SERVICE (48" MIN. COVER, TYP.).
W-3	INSTALL 3/4" SDR-9 POLY PVC PIPE DOMESTIC WATER SERVICE (48" MIN. COVER, TYP.).
W-4	INSTALL 8"x2" REDUCER PER PROVIDER SPECIFICATIONS
W-5	CONNECT WATER LINE TO BUILDING. SEE ARCHITECTURAL/MEP PLANS FOR DETAILS, CONFIRM FOR CONSTRUCTION
W-6	ADJUST WATER VALVE TO FINAL GRADE (TYP)
W-7	PROPOSED 45° BEND.
W-8	PROPOSED 90° BEND.
W-9	DEFLECT WATER LINE AS NECESSARY TO MAINTAIN MIN DEPTH AND 18" VERTICAL CLEARANCE.

PROPOSED  
2017 SERIES BB20 - 4597  
MCDONALD'S  
RESTAURANT  
(4,540± SF.)  
(66 SEATS)  
FFE = 41.25'  
HT. = 19.5± FT

**ROAD 'A'**  
(30' WIDE R.O.W.)  
ONE WAY  
TRAFFIC

(SEE NOTE A)

KING COMMERCIAL DEVELOPMENT		LOT NUMBER 3
TOWN CAMDEN	COUNTY KENT COUNTY	STATE DELAWARE

REGIONAL DWG. NO

## UTILITY PLAN

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FINAL PLAN SIGNATURES

P.M.

1

Q.

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McDONALD'S CORPORATE

1110 NORTH CARPENTER STREET

CHICAGO, IL 60607 (630) 623-3000

McDonald's®

PLAN APPROVALS	
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DATE	
SIGNATURE (2 REQUIRED)	


[illegible]

SIGN SIGNATURES


ST

STATUS

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MINA

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## RESULT

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C-501

**BOHLER** //

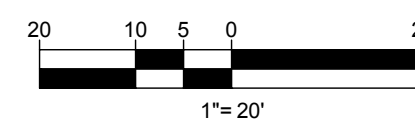
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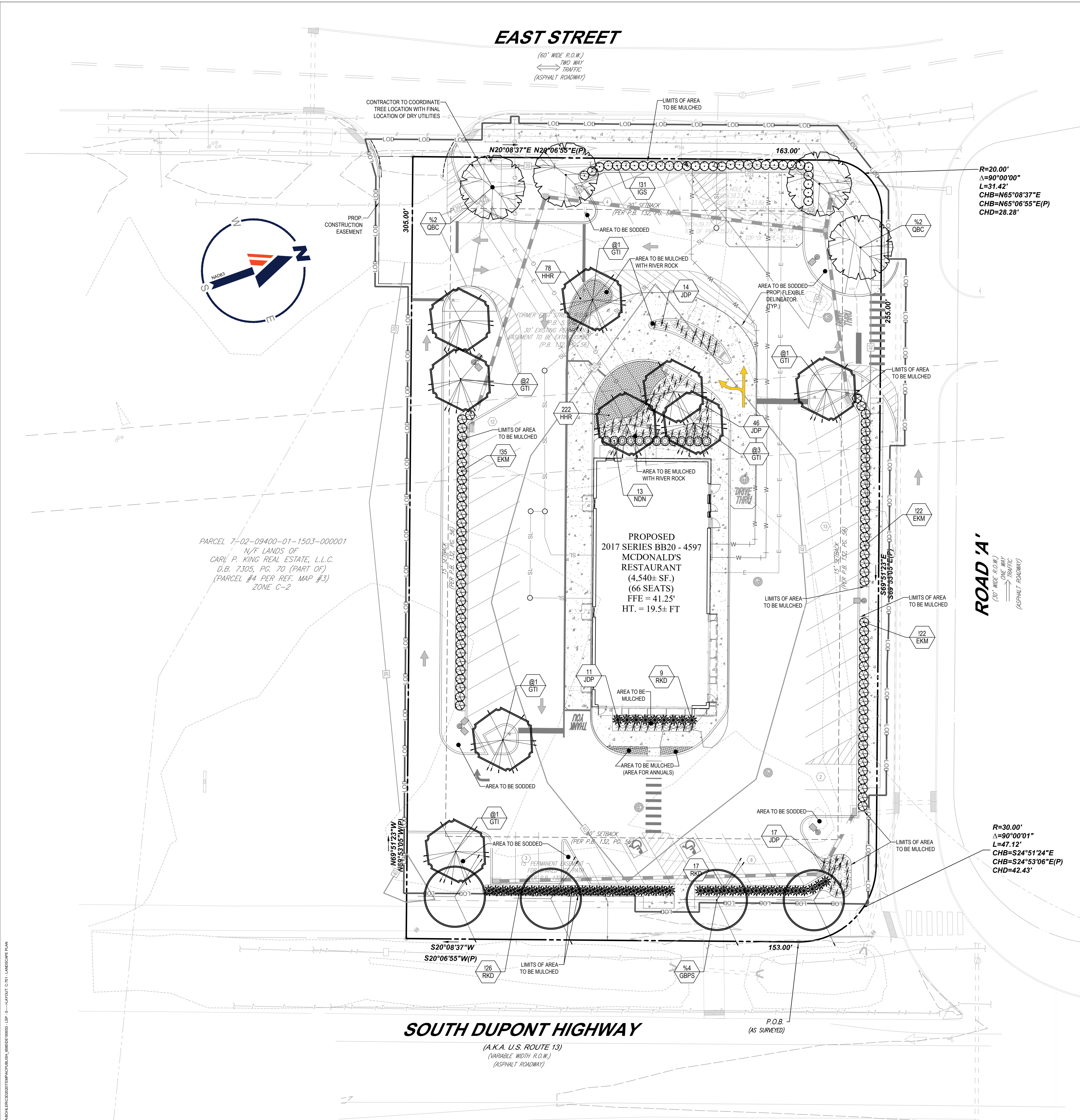
***BohlerEngineering.com***

SEVEN T. FORTUNATE  
 S.T. FORTUNATE  
 No. 19519  
 PROFESSIONAL ENGINEER  
 DELAWARE LICENSE No. 19519  
 05/012020  
 DELAWARE  
 PROFESSIONAL ENGINEER



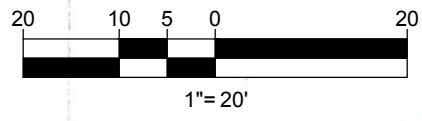


C:\PROGRAMS\BOHLER\BROCHURES\TEMP\LANDSCAPE\190053\_PSP\_13-14\DWG1 C-701 LANDSCAPE PLAN



TOWN OF CAMDEN COMPLIANCE CHART		
SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
240-39-1 (1) PARKING FACILITIES	(1) SCREEN PLANTING SHALL BE PROVIDED ALONG EACH PERIMETER OF A PARKING AREA. IN ADDITION, NO LESS THAN 10% OF THE INTERIOR OF A PROPOSED PARKING AREA MUST CONSIST OF BUFFER AREAS AND ISLANDS AND MUST BE LANDSCAPED AND CONTINUALLY MAINTAINED.	EAST STREET REQUIRED: SCREEN PLANTINGS PROVIDED: SCREEN PLANTINGS *1" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT
		ROAD 'A' REQUIRED: SCREEN PLANTINGS PROVIDED: SCREEN PLANTINGS *1" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT
		SOUTH DUPONT HIGHWAY REQUIRED: SCREEN PLANTINGS PROVIDED: SCREEN PLANTINGS *1" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT
		SOUTHERN BOUNDARY REQUIRED: SCREEN PLANTINGS PROVIDED: SCREEN PLANTINGS *1" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT
240-39-F: STREET TREES	(1) STREET TREES AND ASSOCIATED PLANTINGS SHALL BE REQUIRED FOR ANY DEVELOPMENT AS PART OF THE DESIGN AND CONSTRUCTION OF NEW STREETS, NEW SIDEWALKS, EXISTING STREETS WHEN THEY ABUT OR LIE WITHIN THE DEVELOPMENT AND ACCESS DRIVEWAYS TO RESIDENTIAL DEVELOPMENTS SERVING MORE THAN FOUR DWELLINGS.	TOTAL PARKING SPACES (IN SINGLE BAYS): 43 SPACES REQUIRED: 43.5 = 9 (3.5" CALIPER) TREES PROVIDED: 9 (3.5" CALIPER) TREES *8" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT
		PARKING AREA: 38,287 S.F. REQUIRED: 38,287 x 0.10 = 3,829 S.F. (10%) PROPOSED: 6,027 S.F. (16%) EAST STREET: 179 L.F. - 14 L.F. (ENTRANCES) = 165 L.F. REQUIRED: 165/40 = 4 TREES PROVIDED: 4 TREES *% INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT

LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL. / HT.	CONT.
SHADE TREES					
GBPS	4	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	2 1/2-3" CAL. / 12-14'	B+B
GTI	9	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEYLOCUST	3 1/2" CAL. / 12-14'	B+B
QBC	4	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2-3" CAL. / 12-14'	B+B
SUBTOTAL: 17					
DECIDUOUS SHRUBS					
RKD	52	ROSA 'KNOCKOUT'	DOUBLE KNOCKOUT ROSE	18-24" HT. & SPREAD	#3 CAN
EVERGREEN SHRUBS					
EKM	79	EUONYMUS KIAUTSCHOVICUS 'MANHATTAN'	MANHATTAN SPREADING EUONYMUS	24-30" HT. & SPREAD	#5 CAN
IGS	31	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERY HOLLY	24-30" HT. & SPREAD	#5 CAN
JDP	92	JUNIPERUS DAURICA 'PARSON'	PARSON JUNIPER	15-18" SPRD.	#3 CAN
NDN	13	NANDINA DOMESTICA 'NANA'	HEAVENLY BAMBOO	24-30" HT. & SPREAD	#3 CAN
SUBTOTAL: 215					
PERENNIALS					
HHR	300	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	2 GAL.	CONTAINER



**BOHLER**

18958 COASTAL HWY, SUITE D  
REHOBOTH BEACH, DE 19971  
Phone: (302) 644-1155  
Fax: (302) 703-3173  
BohlerEngineering.com

E.R. McWILLIAMS

04/30/2020

REGISTERED LANDSCAPE ARCHITECT

STATE OF DELAWARE

EXPIRED LANDSCAPE ARCHITECT

SITE IMPROVEMENT PLANS			
PLAN SCALE: AS NOTED			
STREET ADDRESS EAST STREET			
KING COMMERCIAL DEVELOPMENT		LOT NUMBER 3	
TOWN CAMDEN	COUNTY KENT COUNTY	STATE DE	
REGIONAL DWG. NO DE190053		PLAN DESCRIPTION LANDSCAPE PLAN	
CAD FILE: DE190053-PSP-0			

FINAL PLAN SIGNATURES

P.M.

G.C.

O.O.

McDonald's®

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OFFICE ADDRESS

110 NORTH CARPENTER STREET  
CHICAGO, IL 60607 (800) 623-3000

PLAN APPROVALS

SIGNATURE (IF REQUIRED)

DATE

REGIONAL MGR.  
CONST. MGR.

OPERATIONS DEPT.  
REAL ESTATE DEPT.

CO-SIGN SIGNATURES

CONTRACTOR  
OWNER

STATUS  
PRELIMINARY

DATE  
02/18/20

BY  
JSW

AS-BUILT

DATE  
02/18/20

BY  
ANM

C-701



C:\PROGRAMDATA\BOH\_ERC\2020\TEMP\NCBURL15H\_0507DE190033\_1.SP\_0==>LAYOUT\_C 202\_1\_LAYOUTScape NOTES AND DETAILS

C-702



- NOTES:
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
  2. DISTANCE BETWEEN READINGS \_\_\_\_\_ 10'

EAST STREET

(60' WIDE R.O.W.)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

CONC. CURB

CONC. CURB

CONC. CURB

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CONC. CURB

ONE WAY TRAFFIC  
(ASPHALT ROADWAY)

ROAD 'A'

(30' WIDE R.O.W.)

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SOUTH DUPONT HIGHWAY

(A.K.A. U.S. ROUTE 13)

S.W.L.

S.W.L.

(VARIABLE WIDTH R.O.W.)

D.W.L.  
S.W.L.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	3.76	15.6	0.5	7.52	31.20
PROPERTY LINE READINGS	Illuminance	Fc	1.04	3.8	0.2	5.20	19.00

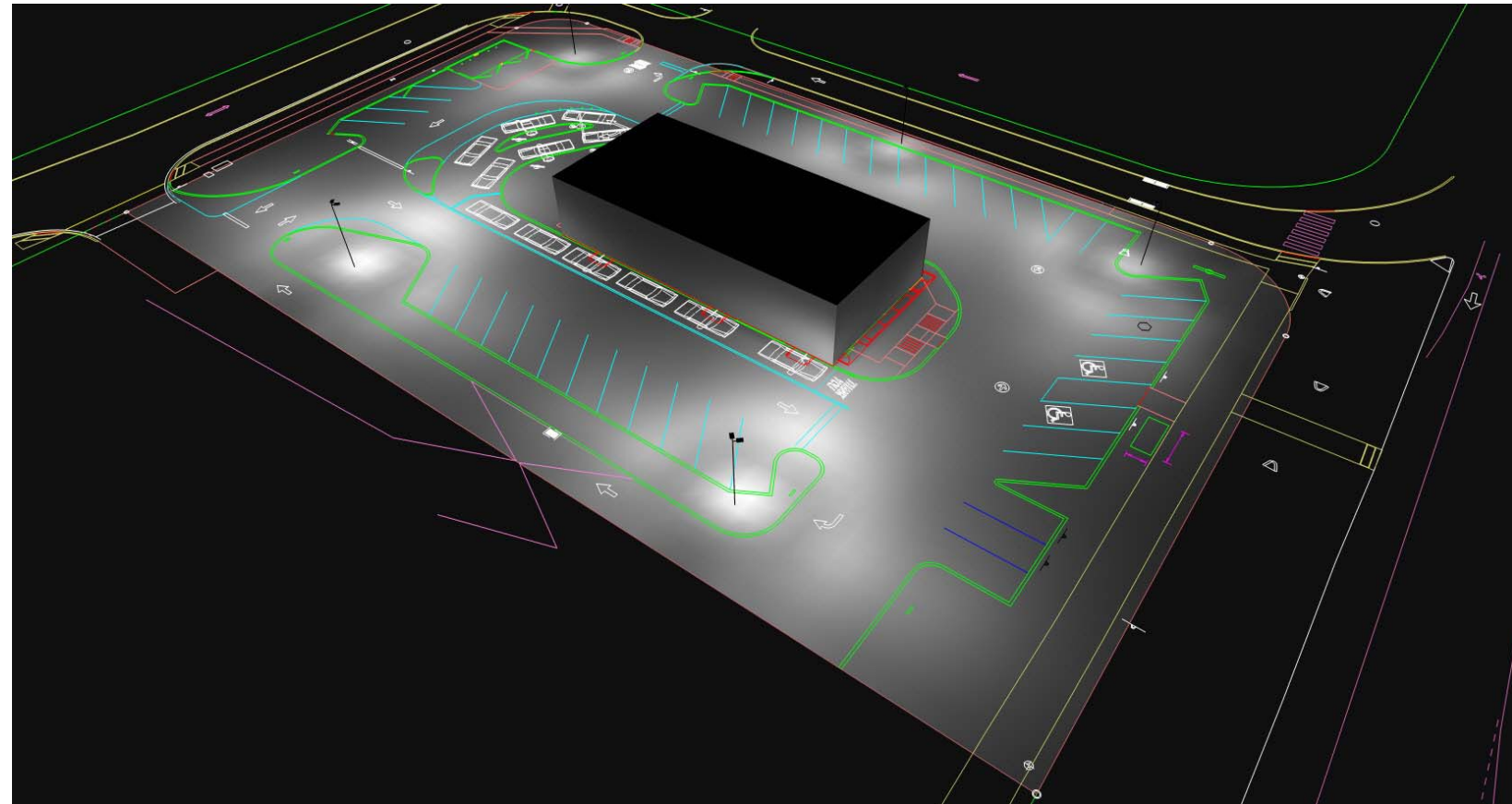
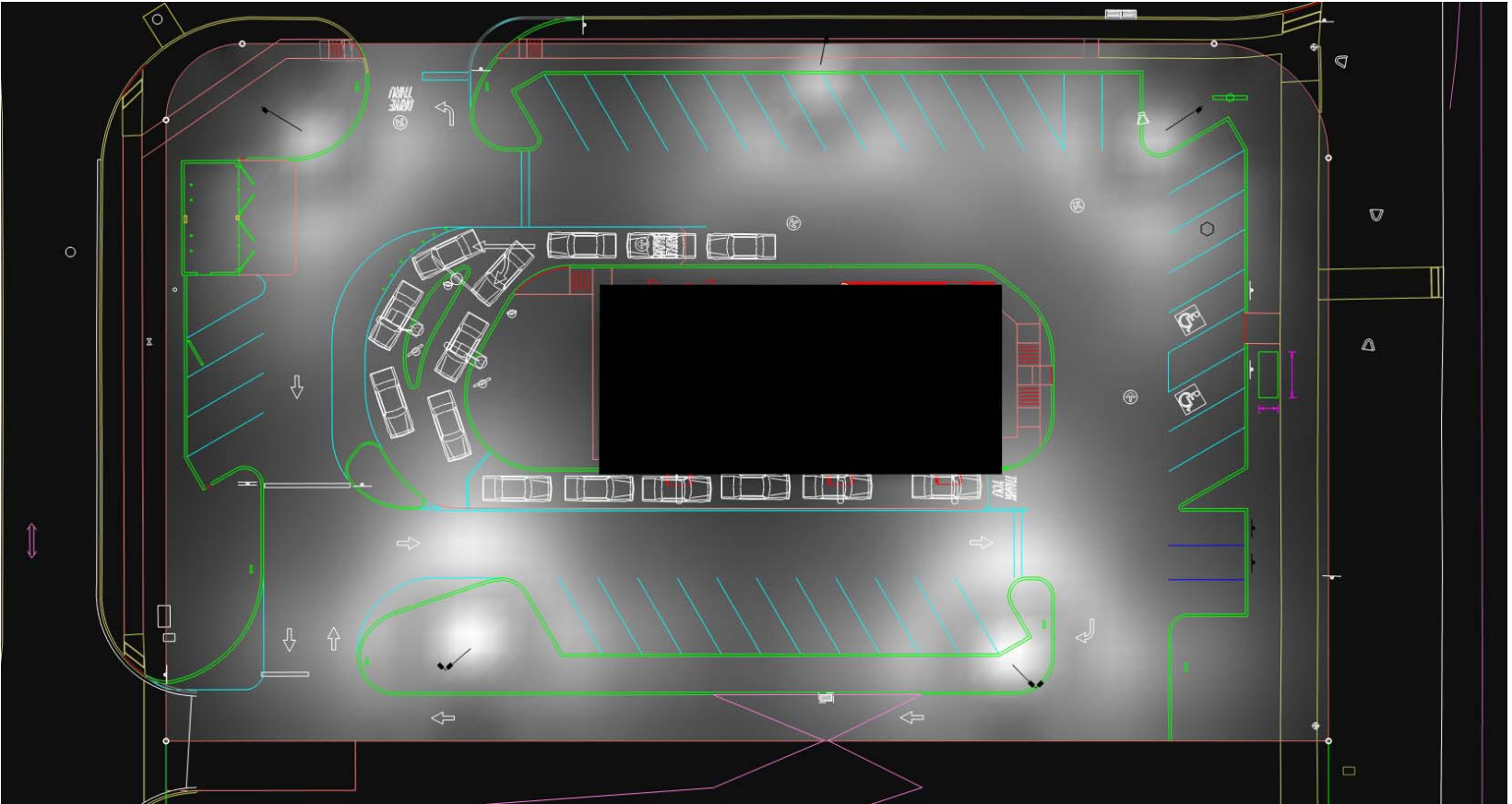
\*\*- SPECIFY COLOR

Luminaire Schedule		Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
Symbol	Qty								
☐	3	A	SINGLE	0.900	VPL-96L-280-5K7-4W	276.7	1	21	SES-18-40-1-GL-TA-xx (4")
⊗	2	A2L	2 @ 90 DEGREES	0.900	VPL-96L-280-5K7-4W-TWIN90	276.7	2	21	SES-18-40-1-GL-TA-xx (4")

\* PROJECT WIND LOAD CRITERIA BASED ON:  
ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)  
50 YEAR MEAN RECURRENCE INTERVAL

Allowed EPA 7.2 @  
Wind Load 90MPH

THIS DRAWING MEETS OR EXCEEDS MCDONALDS CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4  
FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.



Regional Drawing  
# 007-0153

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
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4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.



2100 Gulf Road, Suite 460, Rolling Meadows, IL 60008  
1-800-544-6848

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES  
SCALE 1"=20' 0"

DRAWN BY BV

POINT-BY-POINT FOOTCANDLE PLOT FOR  
MCDONALDS  
270 S DUPONT HWY  
CAMDEN, DE

NATIONAL STORE NUMBER

DATE 4/29/2020  
DRAWING NUMBER SL2002026-Rev1a.AGI



NOTES:

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Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	4.02	15.3	0.5	8.04	30.60
PROPERTY LINE READINGS	Illuminance	Fc	0.73	1.9	0.2	3.65	9.50

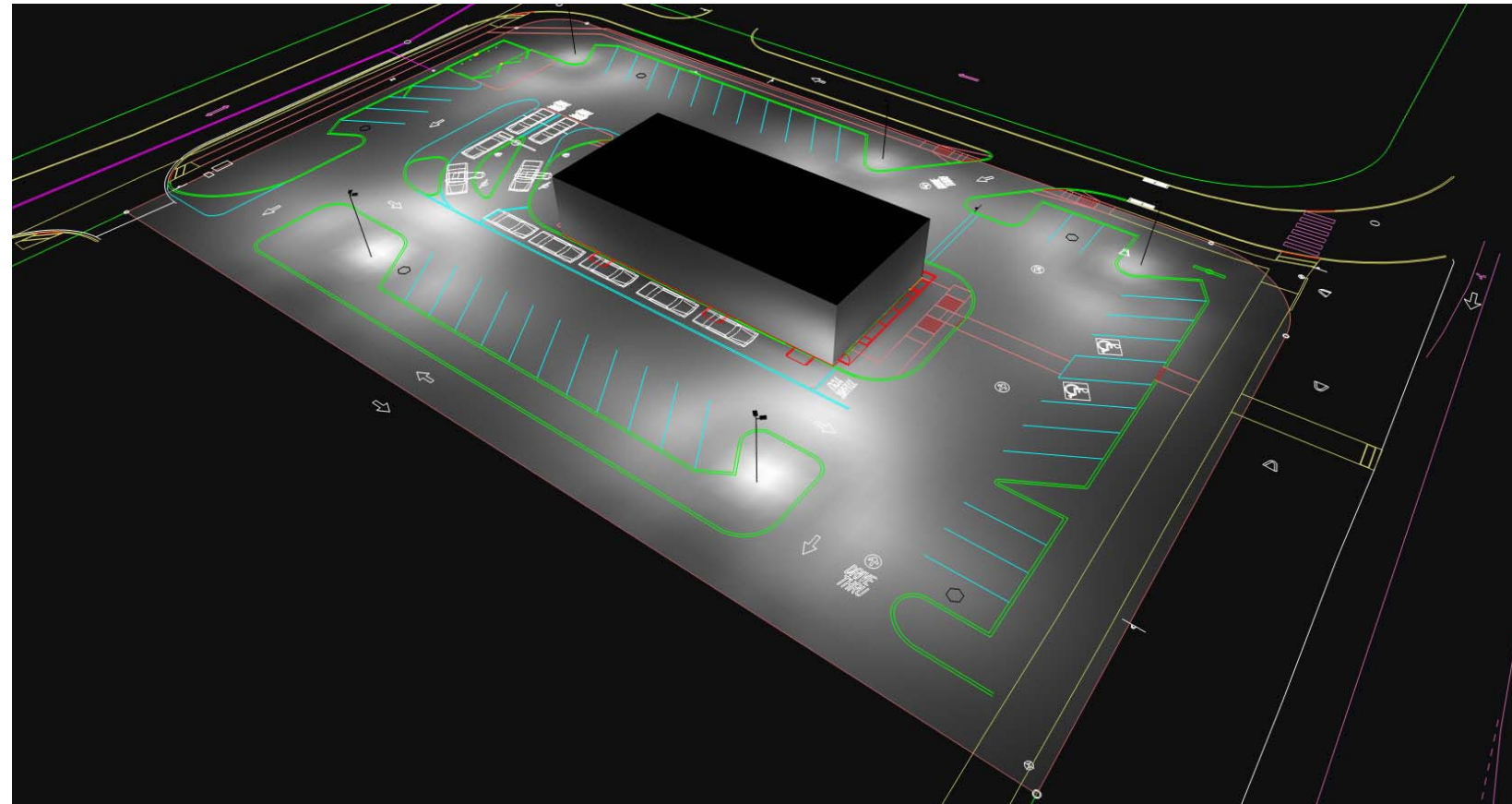
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DRAWN BY BV	
POINT-BY-POINT FOOTCANDLE PLOT FOR MCDONALD'S 270 S DUPONT HWY CAMDEN, DE	
NATIONAL STORE NUMBER	
DATE 2/15/2020	DRAWING NUMBER SL2002026.AGI





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Imagery © 2020 Nearmap, HERE

100 ft

nearmap



THIS EXHIBIT IS FOR ILLUSTRATIVE PURPOSES ONLY. ALL SITE IMPROVEMENTS SHOWN HEREIN ARE CONCEPTUAL, AND SUBJECT TO CHANGE WITH FINAL DESIGN.



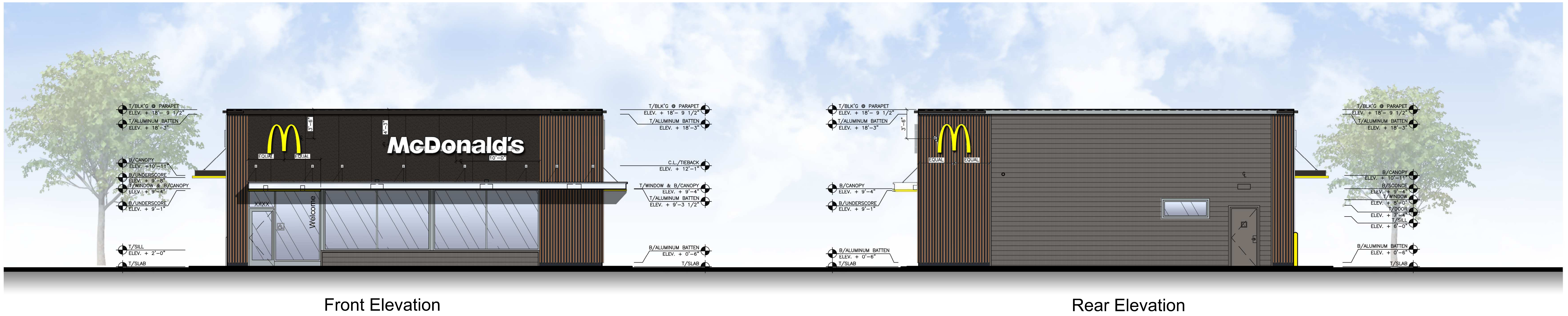
3/18/2020

# PROPOSED McDONALD'S

TOWN OF CAMDEN, DE

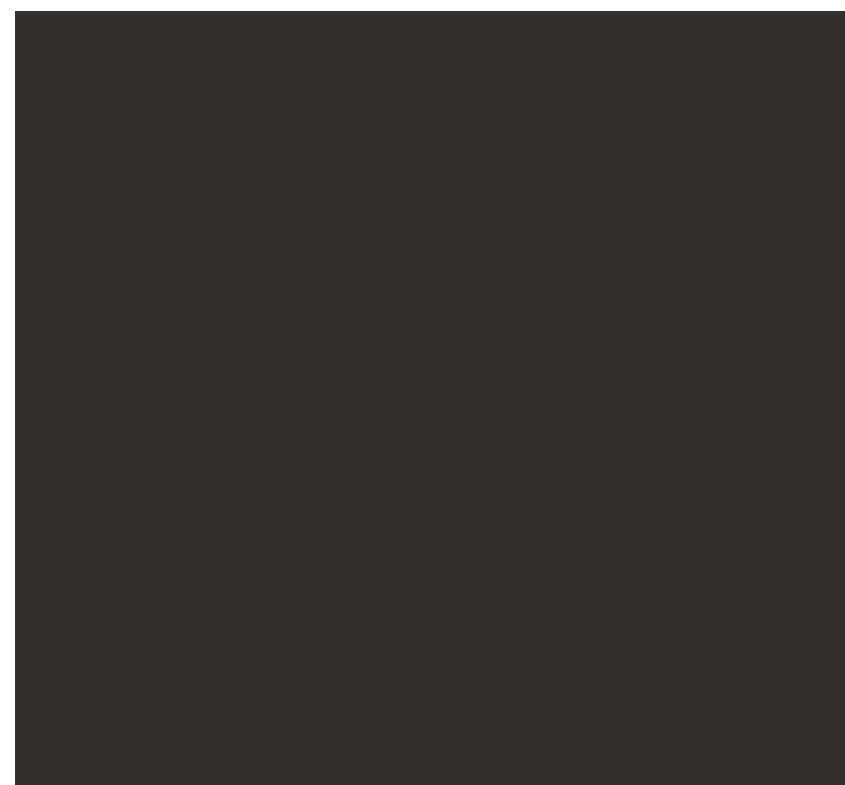




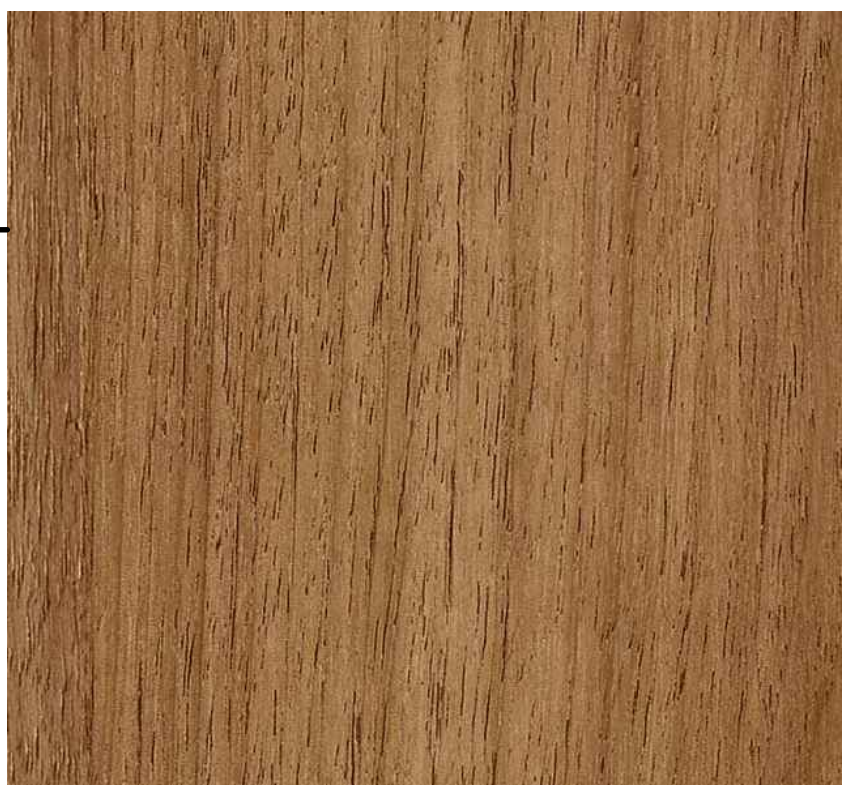


SCHEME: STEEL	
Materials Legend:	
	Fiber Cement Panel: Hardie Plank by James Hardie Aged Pewter
	Drive-Thru - Metal Panel: Alpolic Metal Panel by Alpolic RAL 7022
	2x2 Aluminum Battens
	Gold Underscore
	Aluminum Canopy (Metal)
	Glazing (Windows + Storefront)
	Bronze Metal (Coping)
	Metal (Coping)





EIFS - COLOR : RAL 7022  
FINISH : HYDROPHOBIC // FINESSE



ALUMINUM BATTEN BY FORTINA  
COLOR : TA-647

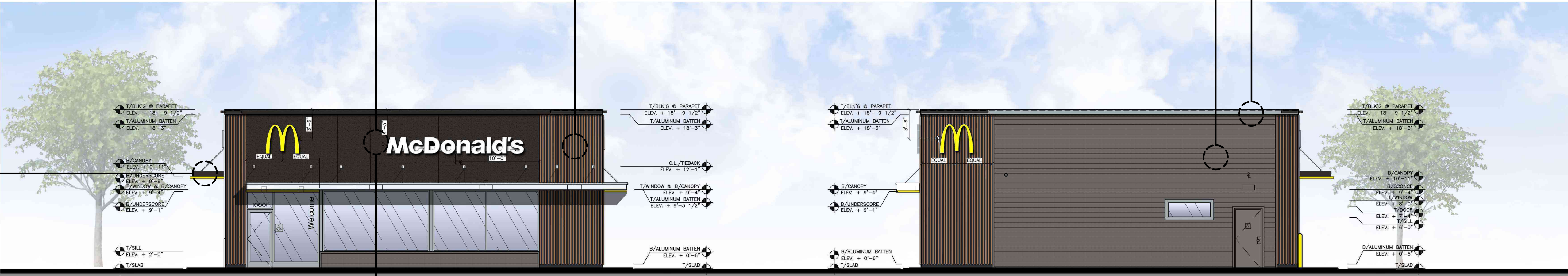
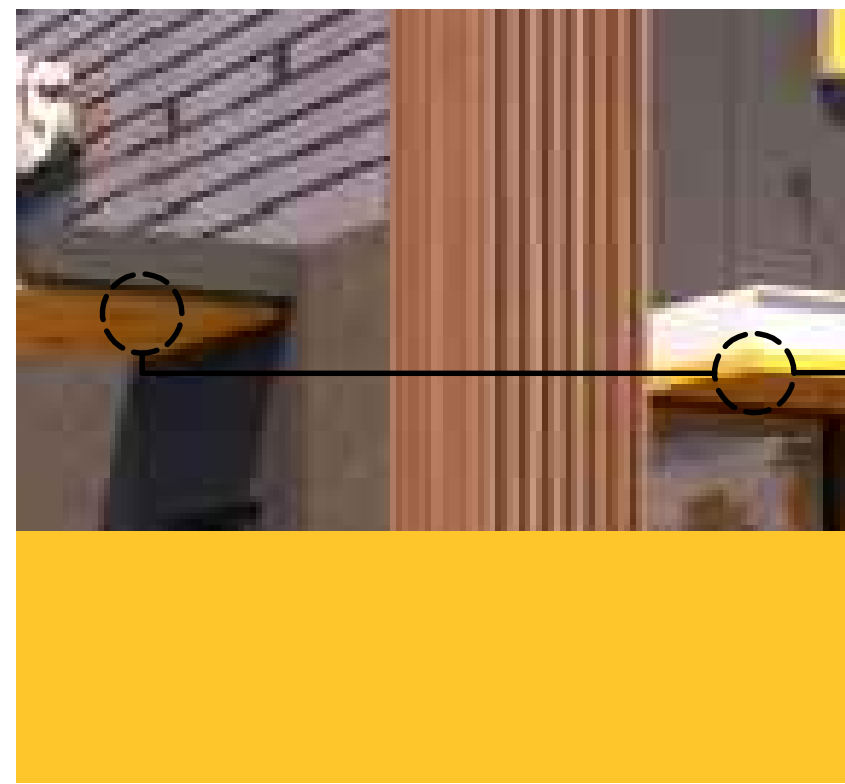


HARDIE PLANK BY JAMES HARDIE  
AGED PEWTER



ANCHOR TITLE  
PARAPET FASCIA BAND  
COLOR : WEATHERED ZINC

ALUMINUM TRELLIS AND FASCIA  
WITH GOLD UNDERSCORE  
COLOR : PMS 123C



Front Elevation

Rear Elevation



MCDONALDS SIGNAGE  
- BY OTHERS  
COLOR: PMS123C



Non-Drive-Thru Side Elevation

ALUMINUM COMPOSITE PANEL  
BY APOLIC. COLOR : RAL 7022



Drive-Thru Side Elevation

SCHEME: STEEL	
Materials Legend:	
	Fiber Cement Panel
	Hardie Plank by James Hardie Aged Pewter
	Drive-Thru - Metal Panel
	Alpolic Metal Panel by Alpolic RAL 7022
	2x2 Aluminum Battens
	Gold Underscore
	Aluminum Canopy (Metal)
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	Bronze Metal (Coping)
	Metal (Coping)