

Town of Camden  
Planning Commission  
**Wednesday, May 20, 2020 – 7:00 p.m.**

Camden Municipal Complex  
1783 Friends Way  
Camden, DE 19934

**A G E N D A**

**CALL TO ORDER**

- a. Pledge of Allegiance
- b. Roll Call
- c. Notice of Public Hearing:

“In compliance with Delaware State Law, advance notice had been posted in the following manner on March 4, 2020:

- The official bulletin boards,
- Posted on the official electronic sign and
- Posted on the official website,

**MINUTES**

- a. Regular Meeting – January 15, 2020

**ANNOUNCEMENTS**

- a. None

**OLD BUSINESS**

- a. None

**NEW BUSINESS**

- a. The applicant is requesting preliminary site plan approval to develop on East St parcel, McDonald's Restaurant, Tax map No. 7-02-094.00-01-15.02-000

The agenda shall be subject to change to include additional items including executive sessions or the deletion of items including executive sessions, which arise at the time of the meeting/hearing. The Commission may vote on issues before them. If special accommodations are needed, please contact the Town Hall at 697-2299 at least 72 hours in advance.

POSTED: May 6, 2020

**Next Scheduled Regular Meeting**

June 17, 2020

**Town of Camden  
Regular Planning Commission Meeting  
Camden Municipal Building  
January 15, 2020**

**CALL TO ORDER**

Chairwoman Gray led attendees in the Pledge of Allegiance.

Chairwoman Gray called the meeting to order at 7:00 p.m. and noticed that this regular Planning Commission Meeting is being held in compliance with Delaware Open Public Meeting Act by posting the agenda on January 6, 2020, in the following manner:

- The official bulletin boards,
- Posted on the official electronic sign, and
- Posted on the official website.

Members Attending: Chairwoman Gray, Commissioner Johnson, and Commissioner Schock.

Members absent: Commissioner Tom Wanstall and Commissioner Mark Girty.

Staff Attending: Town Clerk Sarah Cahall, Account Specialist Amanda Marlow and Town Manager Aaron Chaffinch

**MINUTES**

A motion was made by Commissioner Johnson, seconded by Commissioner Schock, to approve the minutes as written from the December 18, 2019 Planning Commission Meeting. All in favor; none opposed.

**OLD BUSINESS**

*Application submitted for minor subdivision for parcel 7-02-094.11-03-87.00-000, Bruce King*

Was removed from Agenda on January 9, 2020.

**NEW BUSINESS**

*Tallman Dr, Tax map No. NM 7-02-103.00-01-03.00-000 & NM 7-02-103.00-01-04.00-000, Sunset Village. The applicant is requesting a one-year extension on a preliminary site plan.*

Phil Tolliver from Morris & Richie explained that he was here to request a one-year extension on the preliminary site plan for Sunset Village. He stated that over the last year they thought they were going to initiate construction of the storm water facility. He said that did not take place because DNREC has allowed them to modify their plans and reports and bring things up

to new code standards. They are continuing to do so and in the process of changing the hydraulic control system and modifying it. He also stated that working with Del-Dot is a process because they have been changing their specification and design plans. They have been working with them to obtain reapproval of construction plans. He said there about 95-98% completed with the reapproval process from Del-Dot and storm water management. He added that the existing house that was on the property has been demolished.

He requested for one-year extension to continue working on the plans that were originally stipulated with the originally preliminary plan approval which was dated April 10, 2013.

Chairwoman Mary Ellen Gray Questioned if anything has changed or any change from Del-Dot.

Phil Tolliver stated that the storm water hydraulic control structure has because you must now control 48 hours of extent attention instead of 24 hours in storm water control system to comply with DNREC requirements. The size, unit count, layout, parking structure, open space, and the site plans haven't changed. Mr. Tolliver stated that their storage taper ledge for left turn lane coming in was modified because there is a turn off onto Upper king road turning into the site. They had to analyze that to comply and re stripe a different way to include a bike path. He said they must construct a new right turn lane from lochmeath way, going North bound on Upper King Rd.

Chairwoman Gray asked when that road will go in.

Mr. Tolliver said it is at Del-Dot discretion because traffic load today could be different from when the project is built.

Chairwoman Gray question if there was enough right of way there to add a turn lane.

Mr. Tolliver stated as of now yes. If there's not the client would have to secure that, and Del-Dot would work with them.

Chairwoman Grey asked if that was in their approval with Del-Dot and Mr. Toliver added that it is.

Chairwoman Gray explained that there were several conditions that were put on the plans with the report: A motion was made by Commissioner Schock and seconded by Commissioner Michael Johnson to approve the one-year extension on the preliminary site plan with the following Conditions as recorded as of last January 16, 2019. Motions carries All in favor; none opposed.

1. Report from DNREC regarding the wetlands required.
2. Note or an overlay of the FEMA flood plain map required.
3. Landscape plan brought up to code and stamped by a landscape architect.
4. Open space amenities per section 240-36b and 240-36c must be provided and approved.
5. Architectural visuals of the building must be submitted.
6. Description of the building materials must be submitted.

7. A community impact study pursuant to section 240-11 must be completed.
8. Environmental impact study must be completed.
9. Signage plans must be submitted.
10. Notes pages of submitted plans must be updated indicating the community shall be a lease community, and
11. Phase-in schedule required.

**PUBLIC COMMENT**

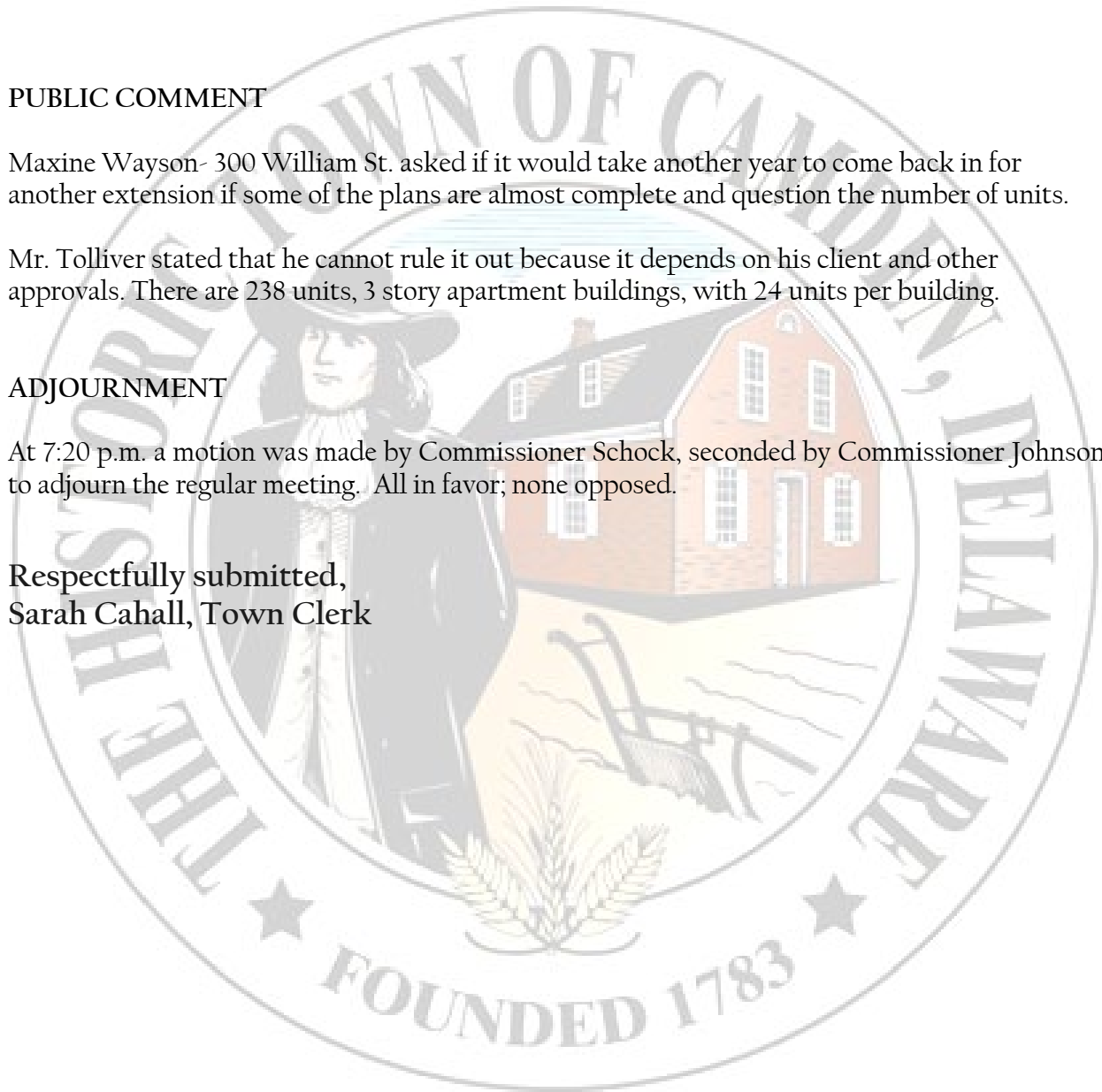
Maxine Wayson- 300 William St. asked if it would take another year to come back in for another extension if some of the plans are almost complete and question the number of units.

Mr. Tolliver stated that he cannot rule it out because it depends on his client and other approvals. There are 238 units, 3 story apartment buildings, with 24 units per building.

**ADJOURNMENT**

At 7:20 p.m. a motion was made by Commissioner Schock, seconded by Commissioner Johnson, to adjourn the regular meeting. All in favor; none opposed.

Respectfully submitted,  
Sarah Cahall, Town Clerk







18958 Coastal Highway, Suite D  
Rehoboth Beach, DE 19971  
302.644.1155

February 18, 2020  
Via Hand Delivery

Town of Camden  
1783 Friends Way  
Camden, DE 19934

Attention: Sarah Cahall  
Town Clerk

RE: Site Improvement Plan  
McDonald's Camden  
Parcel #: 7-02-09400-01-1502-00001  
Town of Camden  
Kent County, DE  
BEVA # DE190053

Dear Ms. Cahall:

Bohler, on behalf of McDonald's USA, LLC, is pleased to submit the above referenced project for Town of Camden Preliminary Site Plan review and approval. Also enclosed is material for the Board of Adjustment. The 1.28± acre parcel is located at the corner of South Dupont Highway (Route 13), Road A, and East Street, and is zoned Highway Commercial (C-2).

The site is currently vacant. The proposed project consists of developing the parcel with a 4,540 ± SF McDonald's restaurant with 43 parking spaces and associated site amenities including parking, lighting, utilities, etc. Stormwater Management is already handled via an existing offsite facility.

In regard to the Preliminary Site Plan approval and Board of Adjustment consideration, please find enclosed the following material for your review and use in adding this project to the March 19, 2020 Planning Commission Hearing agenda:

- Five (5) copies of the Preliminary Site Plan, Sheet 1-10 of 10, prepared by Bohler, dated February 18, 2020.
- One (1) Land Use Application for Site Plan Review.
- One (1) Preliminary Layout Checklist.
- One (1) Site Plan review fee; Check No. 1519 in the amount of \$320.40.
- One (1) Land Use Application for Variances.
- One (1) Variance fee; Check No. 1520 in the amount of \$200.
- One (1) flash drive to include the Preliminary Site Plan in pdf format.

As discussed, the Owner Affidavit is being circulated for signature and will follow under a separate cover

Upon your review of the above, should you have any questions or require additional information, please do not hesitate to contact this office at (302) 644-1155. Thank you.

Sincerely,  
**Bohler Engineering VA, LLC**



David M. Kuklish, P.E.

cc: Mike Jeitner, P.E., Bohler Engineering PA, LLC  
Ashton N. McLaughlin, P.E., Bohler Engineering VA, LLC  
File

DMK/JLC

H:\19\DE190053\Administrative\Letters\200218 McDonald's Town of Camden PSP Coverletter.doc



# PRELIMINARY LAYOUT CHECKLIST

**SUBMISSION DEADLINE:**  
**THIRTY (30) DAYS PRIOR TO NEXT MEETING**

(Planning Commission Meetings are held the 3<sup>rd</sup> Wednesday of each Month)

Project Name: McDonald's

Date of Submission: 2/18/2020

Project Location: Corner at South Dupont Highway & Road A & East Street

Type of application: Preliminary Site Plan

Existing use: Vacant

Proposed use: Commercial / McDonald's Restaurant

Existing zoning: C-2

Proposed zoning: C-2

Tax map number:

Kent County:

Number of copies needed for submission: 5

PLUS:

Commission: X

Council:

Owner: CARL P. KING REAL ESTATE,, L.L

Officers of INC or LLC if Applicable:

Address: 27690 Sterling Blvd., Millsboro, DE 19966

Certificate of formation for INC or LLC if Applicable:

Surveyor/Engineer: Bohler Engineering VA, LLC

Address: 18958 Coastal Highway, Suite D  
Rehoboth Beach, DE 19971

Phone number: (302) 644-1155

Outstanding fees on property \* N/A

Existing violations at site\* N/A

<input checked="" type="checkbox"/>	Project Name	<input checked="" type="checkbox"/>	Property Owner's Name and Address
<input checked="" type="checkbox"/>	Surveyor and/or Engineer's Name and Address	<input checked="" type="checkbox"/>	Date
<input checked="" type="checkbox"/>	Property Tax Map Number(s)	<input checked="" type="checkbox"/>	Scale
<input checked="" type="checkbox"/>	Site Boundary w/ Bearings and Distances	<input checked="" type="checkbox"/>	Total Site Area
<input checked="" type="checkbox"/>	Proposed Lot Areas	<input checked="" type="checkbox"/>	Front, Side, and Rear Setbacks
<input checked="" type="checkbox"/>	Horizontal Datum and Date	<input checked="" type="checkbox"/>	North Arrow
<input checked="" type="checkbox"/>	Current and Proposed Zoning of Property	<input checked="" type="checkbox"/>	Names of Adjoining Property Owners
<input checked="" type="checkbox"/>	Map Numbers of Adjoining Properties	<input checked="" type="checkbox"/>	Zoning of Adjoining Property Owners



X	Flood Map Panel and Zone	X	Wetlands Note and/or Delineation
N/A	Streams and Water Courses	N/A	Single Trees with a Diameter of 6 inches or more
N/A	Marked or Unmarked Burial Sites	X	Significant Existing Features and Structures
N/A	Archeological Sites	X	Underground Storage Tanks
X	Existing and Proposed Contours at 1ft Intervals	X	Vertical Datum and Date
X	Size and Location of Existing Utilities	X	Location and Size of Existing Storm Drains
X	Location of Existing Utility/Drainage Easements	X	Size and Location of Proposed Utilities
X	Location and Size of Proposed Storm Drains	X	Location of Proposed Utility/Drainage Easements
X	Existing Sidewalk/Curbing/Edge of Pavement	X	Proposed Sidewalk/Curbing/Edge of Pavement
N/A	Cross-Sections and Profiles of Proposed Streets	X	Existing and Proposed Parking
X	Existing and Proposed Dedicated Right-of-Way	X	Existing and Proposed Open Space
X	Proposed Building Type and Building Material Type VB		

<b>REMARKS:</b>
<b>CONDITIONS:</b>

- 1) \*NO APPLICATION WILL BE ACCEPTED UNLESS ALL TAXES, ASSESSMENTS, WATER, SEWER, ELECTRIC, TRASH CHARGES OR ANY OTHER FEES DUE THE TOWN, ARE PAID AND IN GOOD STANDING.
- 2) THE FINAL PLAT AND OTHER DOCUMENTS AS SPECIFIED IN ARTICLE 5 OF THE LAND SUBDIVISION REGULATIONS SHALL BE PREPARED BY THE SUBDIVIDER IN ACCORDANCE WITH THE GENERAL REQUIREMENTS AND DESIGN STANDARDS SPECIFIED IN ARTICLES 6 AND 7 OF THE LAND SUBDIVISION REQUIREMENTS AND SHALL BE SUBMITTED TO THE COMMISSION WITHIN TWELVE (12) MONTHS AFTER APPROVAL OF THE PRELIMINARY LAYOUT; OTHERWISE, SAID APPROVAL SHALL BECOME NULL AND VOID UNLESS AN EXTENSION OF TIME IS APPLIED FOR, AND GRANTED BY THE COMMISSION WITHIN THE SAID TWELVE (12) MONTH PERIOD.



# LAND USE APPLICATION

Cover sheet for applications to Planning Commission, Town Council or Board of Adjustment

Please check the appropriate action(s)

Date: 2/18/2020

SITE PLAN FEE: SEE BELOW	✓	CONDITIONAL USE FEE: SEE BELOW	ZONING AMENDMENT FEE: SEE BELOW	VARIANCE FEE: \$200.00
<b>MINIMUM FEE: \$275.00</b>  <b>PLUS \$10.00 PER 1,000 SQUARE FT. OF FLOOR AREA FOR BUSINESS, COMMERCIAL AND INDUSTRIAL BUILDINGS.</b>		<b>\$200.00</b>  <b>PLUS \$10.00 PER DWELLING UNIT FOR:</b> <ol style="list-style-type: none"> <li>1. Residential Cluster</li> <li>2. Developments</li> <li>3. Townhouses</li> <li>4. Townhouse Developments</li> <li>5. Two-Family and Multi-Family Dwellings</li> <li>6. Multi-Family/Condominium Developments</li> <li>7. Mobile or Manufactured Home Parks</li> <li>8. Subdivisions</li> </ol>	FROM ANY DISTRICT TO RESIDENTIAL \$50.00 PLUS \$ 5.00 PER ACRE OR PART OF AN ACRE \$1,250.00 MAXIMUM FEE.  FROM ANY DISTRICT TO COMMERCIAL \$75.00 PLUS \$ 15.00 PER ACRE OR PART OF AN ACRE \$750.00 MAXIMUM FEE.  FROM ANY DISTRICT TO INDUSTRIAL \$150.00 PLUS \$ 20.00 PER ACRE OR PART OF AN ACRE \$1,000.00 MAXIMUM FEE.  FROM ANY DISTRICT TO PRESERVATION \$10.00 PLUS \$1.00 PER ACRE OR PART OF AN ACRE \$100.00 MAXIMUM FEE.	FEE: \$200.00  APPEAL: \$200.00
The undersigned hereby requests the Camden Planning Commission to grant Site Plan Approval.		The undersigned hereby requests Town Council Approval of a Site Plan for a Conditional Use.	The undersigned petitions Town Council to amend the Zoning District Map.	The undersigned hereby petitions the Board of Adjustment to grant a variance.
Property address:				
Property location: Corner at South Dupont Highway & Road A & East Street				
Lot number, subdivision name or other identification				
Name and address of legal owner: CARL P. KING REAL ESTATE,, L.L., 27690 Sterling Blvd., Millsboro, DE 19966				
Lessee, Attorney, Engineer, or other interested party: Bohler Engineering VA, LLC 18958 Coastal Highway, Suite D, Rehoboth Beach, DE 19971				
Present Zoning District: C-2 (Highway Commercial District)		Present Use: Vacant		
Proposed Zoning District: C-2 (Highway Commercial District)		Proposed Use: Commercial / McDonald's Restaurant		
Description of property subject to this request:				
Area: 55,534 SF (1.28 Ac.)		Width: 183'		
Depth: 305'		Setback: 40' Front, 15' Side, 20' Rear		
Area of any adjacent property that is under the same ownership:				



Existing Sanitary facilities: CWSWA		Existing Water Supply: CWSWA
Proposed sanitary facilities: CWSWA		Proposed water supply: CWSWA
Please describe any proposed new construction to be erected on the property:		
Number of parking spaces: <u>43</u>	Building size: <u>4,540 SF</u>	Building height: <u>1 story</u>
Units per acre: <u>1</u>	Number of units: <u>1</u>	Number of buildings: <u>1</u>

Applications to Planning Commission, Town Council or Board of Adjustment

**SYNOPSIS OF REQUEST TO INCLUDE REASON(S) FOR APPLICATION:**

Applicant is proposing to develop the currently vacant subject site with a 4,540± SF McDonald's Restaurant with associated parking and access driveways.

Please list all attachments and documentation applicable to request:

- Coverletter
- Site Plan Checklist
- Review Fee
- Site Plan

I/We certify that the above information and any attached information is true and correct to the best of my/our knowledge.

Signature of legal owner (if not applicant) \_\_\_\_\_

*Bonnie W. King*

Signature of applicant: \_\_\_\_\_

Cover sheet for applications to Planning Commission, Town Council or Board of Adjustment

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**FOR OFFICE USE ONLY**

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Application or Petition Number: \_\_\_\_\_

Zoning District Map Number: \_\_\_\_\_

Site Plan Number: \_\_\_\_\_

Modified Grid Number: \_\_\_\_\_

**SITE PLAN REVIEW:**

Preliminary site plan reviewed by: \_\_\_\_\_

Date: \_\_\_\_\_

Recommendation: \_\_\_\_\_

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**HEARING AND MEETING SUMMARY:**

Planning Commission Hearing Date: \_\_\_\_\_

Planning Commission Meeting Date: \_\_\_\_\_

Action taken by Planning Commission: \_\_\_\_\_

Town Council Hearing Date: \_\_\_\_\_

Town Council Meeting Date: \_\_\_\_\_

Action taken by Town Council: \_\_\_\_\_

Board of Adjustment Hearing Date: \_\_\_\_\_

Action taken by Board of Adjustment: \_\_\_\_\_

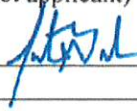
Appeal Board of Adjustment Date: \_\_\_\_\_

Result of Appeal: \_\_\_\_\_

I/We certify that the above information and any attached information is true and correct to the best of my/our knowledge.

Signature of legal owner (if not applicant) \_\_\_\_\_

Signature of applicant:

 McDonald's US LLC.

Cover sheet for applications to Planning Commission, Town Council or Board of Adjustment

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### FOR OFFICE USE ONLY

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Application or Petition Number: \_\_\_\_\_

Zoning District Map Number: \_\_\_\_\_

Site Plan Number: \_\_\_\_\_

Modified Grid Number: \_\_\_\_\_

#### SITE PLAN REVIEW:

Preliminary site plan reviewed by: \_\_\_\_\_

Date: \_\_\_\_\_

Recommendation: \_\_\_\_\_

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#### HEARING AND MEETING SUMMARY:

Planning Commission Hearing Date: \_\_\_\_\_

Planning Commission Meeting Date: \_\_\_\_\_

Action taken by Planning Commission: \_\_\_\_\_

Town Council Hearing Date: \_\_\_\_\_

Town Council Meeting Date: \_\_\_\_\_

Action taken by Town Council: \_\_\_\_\_

Board of Adjustment Hearing Date: \_\_\_\_\_

Action taken by Board of Adjustment: \_\_\_\_\_

Appeal Board of Adjustment Date: \_\_\_\_\_

Result of Appeal: \_\_\_\_\_

**AFFIDAVIT**

RE:      Application of McDonald's USA, LLC  
         S. Dupont Highway & Access Road A  
         Town of Camden  
         Kent County, DE  
         PIN/MAP#7-02-09400-01-1502-00001

I, **Bruce King**, Carl P King Real Estate, LLC the owner of the property located, **S. Dupont Highway, Town of Camden, Kent County, DE**, more formally known as **PIN/MAP# 7-02-09400-01-1502-000001** and hereby declare and name, **McDonald's USA, LLC**, as the authorized agent. I grant permission to **McDonald's USA, LLC**, to act on my behalf throughout the entire process and all aspects needed during the project up to and including applicable building permitting. In addition, I authorize **McDonald's USA, LLC** to represent myself in all matters for the above address, I also grant permission to the Town of Camden to communicate directly with, **McDonald's USA, LLC**, and grant permission to the Town of Camden to share information with and rely on information given by, **McDonald's USA, LLC**, for the purpose of the following work to be conducted on my property located in the Town of Camden.

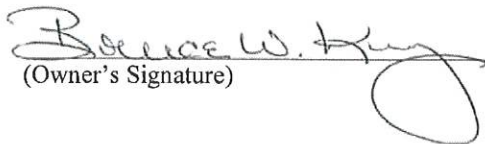
**Project Description**

McDonald's USA, LLC is proposing to build a new 4,540 SF McDonald's Restaurant with side-by-side drive thru configuration. Site would also include all lighting, landscaping, utilities, and parking to support the use. The authorization would cover all aspects of the Land Use Approval Process, Zoning Process, and any/all applicable permit applications necessary for the project.

**Property Owner Information:**

Name: Carl P King Real Estate, LLC  
Address: 27690 Sterling Blvd  
         Millsboro, DE 19966

Phone Number: \_\_\_\_\_  
Email Address: \_\_\_\_\_

  
(Owner's Signature)

2/19/2020  
(Date)

Bruce King  
(Print Name)



**LOCATION OF SITE**  
**EAST STREET, TOWN OF CAMDEN**  
**KENT COUNTY, DELAWARE**  
**TAX MAP#: 7-02-09400-01-1502-00001**

SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
DEMOLITION PLAN	C-201
SITE PLAN	C-301
GRADING PLAN	C-401
UTILITY PLAN	C-501
LANDSCAPE PLAN	C-701
LANDSCAPE DETAILS	C-702
LIGHTING PLAN (BY OTHERS)	1 OF 1

FINAL PLAN SIGNATURES

P.M. \_\_\_\_\_

G.C. \_\_\_\_\_

O/O \_\_\_\_\_

**McDonald's**

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S USA, LLC  
AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE	MCDONALD'S CORPORATE
ADDRESS	110 NORTH CARPENTER STREET  CHICAGO, IL 60602-1000

[illegible]

OWNERS CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, THAT I ACKNOWLEDGE THE SAME TO BE MY ACT, AND DESIRE THE PLAN TO BE DEVELOPED AS SHOWN IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

I, THE UNDERSIGNED, CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION, I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND I UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT.

BRUCE KING \_\_\_\_\_ DATE  
CARL P. KING REAL ESTATE, L.L.C.

SITE DESIGNER/ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER WITH A BACKGROUND IN CIVIL ENGINEERING IN THE STATE OF DELAWARE AND THAT THIS PLAN HAS BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLIES WITH THE APPLICABLE LOCAL AND STATE REGULATIONS AND ORDINANCES.

SIGNATURE AND SEAL OF ENGINEER \_\_\_\_\_ DATE

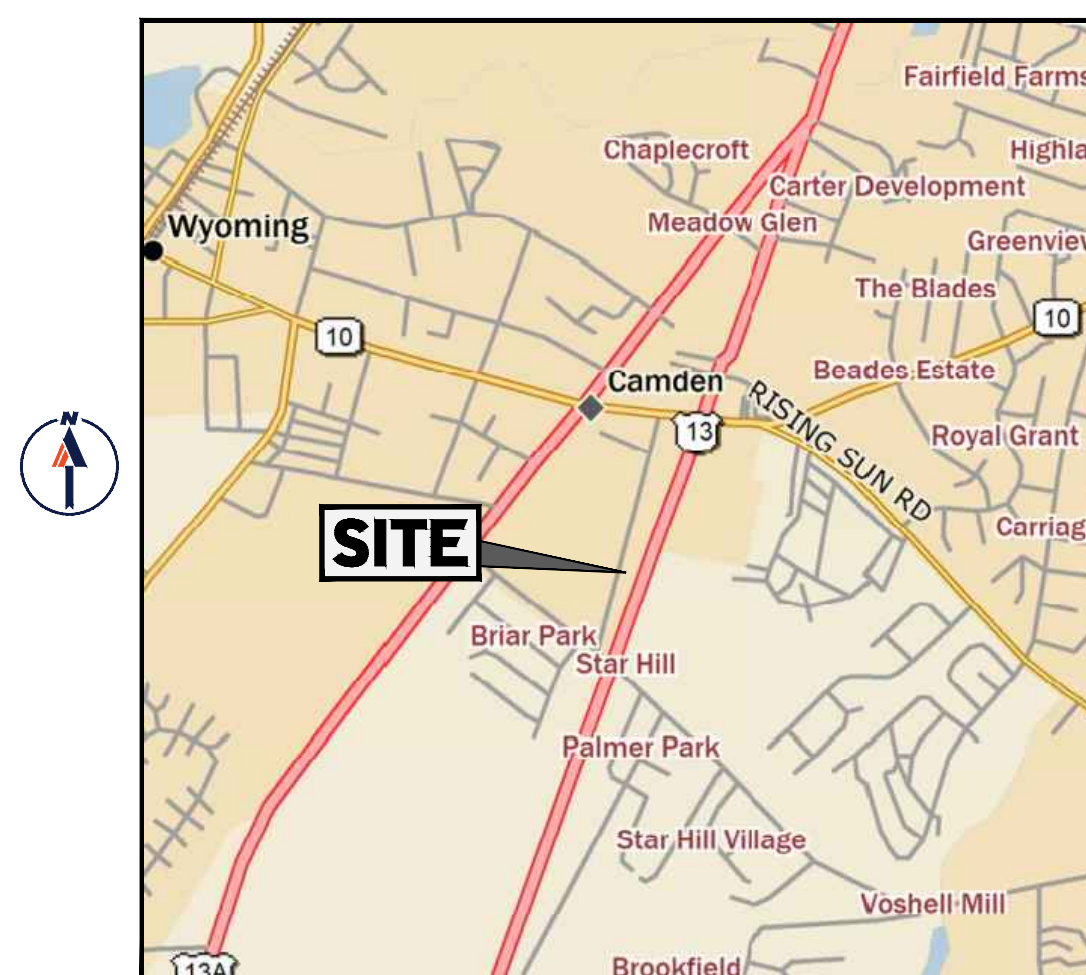
IT HEREBY IS CERTIFIED THAT THIS SUBDIVISION PLOT PLAN WAS GRANTED FINAL APPROVAL BY THE TOWN OF CAMDEN, DELAWARE, ON \_\_\_\_\_ AND ACCORDINGLY IS ELIGIBLE FOR RECORDING IN THE OFFICE OF THE RECORDER OF DEEDS FOR KENT COUNTY, DELAWARE.

MAYOR OR DEPUTY MAYOR \_\_\_\_\_

<b>SITE IMPROVEMENT PLANS</b>		
PLAN SCALE: AS NOTED		
STREET ADDRESS EAST STREET		
KING COMMERCIAL DEVELOPMENT		LOT NUMBER 3
TOWN CAMDEN	COUNTY KENT COUNTY	STATE DE
REGIONAL DWG. NO DE190053	PLAN DESCRIPTION COVER SHEET	
CAD FILE: DE190053-PSP-0		

# PLAN REFERENCES AND CONTACTS

<b>REFERENCES</b> ◆ <b>BOUNDARY &amp; TOPOGRAPHIC SURVEY:</b> CATED, PA 18914 600 MANOR DRIVE, SUITE 210 CHALFONT, PA 18914 CATED 11/18/2019 (REV. 1) JOB # S/SURVEY JOB #	<b>CHESSAPEAKE UTILITIES</b> 909 SILVER LAKE BOULEVARD DOVER, DE 19904 (302) 734-6797 (P) (302) 734-6750 (F)
<b>GOVERNING AGENCIES</b>  DNREC, DIVISION OF SOIL AND WATER CONSERVATION SEDIMENT AND STORMWATER PROGRAM JOANNE GEDNEY 89 KINGS HIGHWAY DOVER, DE 19901 (302) 739-9921 (P)	<b>DELMARVA POWER/PREMIER</b> 5 COLLINS DRIVE, MAIL STOP #6422 CARNEYS POINT, NJ 08069 (856) 634-6577 (P) (856) 351-7523 (F)
<b>TOWN OF CAMDEN</b>  JAMIE FENSKO 1783 FRIENDS WAY CAMDEN, DE 19934 (302) 697-2299 (P) (302) 697-9115 (F)	<b>KENT COUNTY DISTRICT</b> JARED ADKINS, P.E. 800 BAY ROAD, SUITE 2 DOVER, DE 19901 (302) 741-2600 EXT. 3 (P) (302) 741-0347 (F)
<b>CAMDEN-WYOMING SEWER &amp; WATER AUTHORITY</b> SCHEIL, CHARENGA, DE, P.E. P.O. BOX 405 CAMDEN-WYOMING, DE 19934 (302) 697-6372 (P) (302) 697-2735 (F)	<b>STATE FIRE MARSHAL</b> WILLIAM KELLY 1537 CHESTNUT GROVE ROAD DOVER, DE 19904 (302) 739-4394 (P) (302) 739-3696 (F)
	<b>VERIZON</b> (866) 397-5153 (P)
	<b>COMCAST/PREMIER</b> (866) 328-3698 (P)
	<b>KENT COUNTY DEPARTMENT OF PUBLIC WORKS</b> 555 BAY ROAD DOVER, DE 19901 PHONE: (302) 744-2430



**LOCATION MAP**  
SCALE: 1" = 2000'  
PLAN REFERENCE:  
Copyright 2009  
DELORME STREET ATLAS USA 2009 PLUS

**OWNER**  
CARL P. KING REAL ESTATE, L.L.  
27690 STERLING BLVD  
MILLSBORO, DE 19966  
BRUCE KING

**APPLICANT**  
MCDONALD'S USA, LLC  
6903 ROCKLEDGE DRIVE, SUITE 1100  
BETHESDA, MD 20817  
JOHNATHAN BASKE  
PHONE: (609)-3383622

PREPARED BY



**BOHLER** //

CONTACT: ASHTON N. MCLAUGHLIN, P.E.

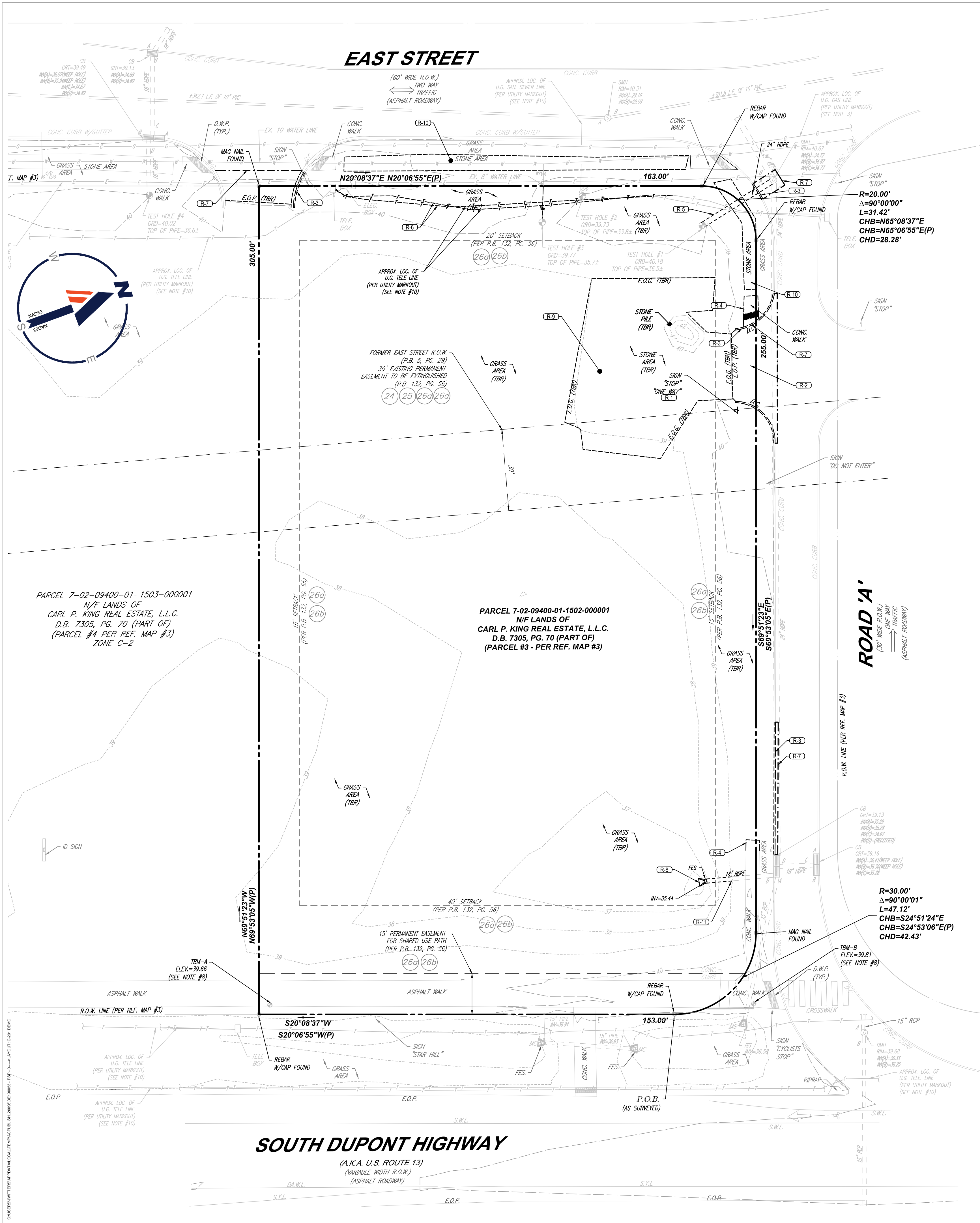
**BOHLER //**  
18958 COASTAL HWY, SUITE D  
REHOBOTH BEACH, DE 19971  
Phone: (302) 644-1155  
Fax: (302) 703-3173  
***BohlerEngineering.com***



C-101

**GENERAL NOTE:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.





NOTES:

- PROPERTY KNOWN AS PARCEL 7-02-09400-01-1502-0001 AS IDENTIFIED ON THE TAX MAPS OF THE TOWN OF CAMDEN (NORTH MURDERKILL HUNDRED), KENT COUNTY, STATE OF DELAWARE.
- AREA = 55.536± S.F. OR 1.28± AC.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THIS PLAN IS BASED ON INFORMATION PROVIDED, BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 7809187, 192889-NGS, WITH A COMMITMENT DATE OF 7-31-2019, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II:
  - MORTGAGE: \$1,250.00 FROM CALVIN CLARK TO WILLIAM LAWS, DATED MAY 16, 1936 AND RECORDED MAY 16, 1936 IN MORTGAGE RECORD E VOLUME 6 PAGE 124. - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
  - MORTGAGE (FUTURE ADVANCES): \$25,000.00 FROM CARL KING, INC. TO THE FIRST NATIONAL BANK OF BOSTON, DATED JUNE 30, 1987 AND RECORDED JULY 1, 1987 IN MORTGAGE RECORD I VOLUME 31 PAGE 94. - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
  - THE ABOVE MORTGAGE APPEARS TO BE AN OPEN END MORTGAGE SECURING FUTURE ADVANCES. IF THIS MORTGAGE IS TO BE PAID IN FULL/SATISFIED AND REMOVED FROM THE POLICY TO BE ISSUED ON THIS MATTER, THE EQUITY LOAN ACCOUNT IS TO BE CLOSED OR FROZEN BEFORE THE PAYOFF IS ISSUED. ANOTHER STEP THAT IS OFTEN REQUIRED BY THE LINE OF CREDIT MORTGAGE LENDER IS A CLOSE OUT LETTER SIGNED BY THE MORTGAGOR/FEE OWNER IN ORDER FOR THE LENDER TO PROCEED TO SATISFY THE MORTGAGE.
  - SUBORDINATION AGREEMENT: BETWEEN THE FIRST NATIONAL BANK OF BOSTON AS AGENT FOR THE FIRST NATIONAL BANK OF BOSTON AND BAYBANK BOSTON AND WILMINGTON TRUST COMPANY, DATED JUNE 30, 1988 AND RECORDED JUNE 30, 1988 IN DEED RECORD E VOLUME 45 PAGE 265. - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
  - MORTGAGE (FUTURE ADVANCES): \$4,500,000.00 FROM CARL P. KING REAL ESTATE, L.L.C. TO COUNTY BANK, DATED SEPTEMBER 28, 2018 AND RECORDED OCTOBER 1, 2018 IN MORTGAGE RECORD 9310 PAGE 154. - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
  - THE ABOVE MORTGAGE APPEARS TO BE AN OPEN END MORTGAGE SECURING FUTURE ADVANCES. IF THIS MORTGAGE IS TO BE PAID IN FULL/SATISFIED AND REMOVED FROM THE POLICY TO BE ISSUED ON THIS MATTER, THE EQUITY LOAN ACCOUNT IS TO BE CLOSED OR FROZEN BEFORE THE PAYOFF IS ISSUED. ANOTHER STEP THAT IS OFTEN REQUIRED BY THE LINE OF CREDIT MORTGAGE LENDER IS A CLOSE OUT LETTER SIGNED BY THE MORTGAGOR/FEE OWNER IN ORDER FOR THE LENDER TO PROCEED TO SATISFY THE MORTGAGE.
  - ASSIGNMENT OF RENTS: BETWEEN CARL P. KING REAL ESTATE, L.L.C. AND COUNTY BANK, DATED SEPTEMBER 28, 2018 AND RECORDED OCTOBER 1, 2018 IN ASSIGNMENT RECORD 9310 PAGE 168. - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
  - SUBORDINATION, NON-DISTURBANCE AND ATTORNMEN AGREEMENT: BY AND BETWEEN WAWA, INC. AND COUNTY BANK, DATED MAY 30, 2019 AND RECORDED JUNE 4, 2019 IN RECORD BOOK 9620 PAGE 245. - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
  - SUBORDINATION, NON-DISTURBANCE AND ATTORNMEN AGREEMENT: BY AND BETWEEN WAWA, INC. AND COUNTY BANK, DATED MAY 30, 2019 AND RECORDED JUNE 4, 2019 IN RECORD BOOK 9620 PAGE 249. - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
  - MORTGAGE (FUTURE ADVANCES): \$900,000.00 FROM CARL P. KING REAL ESTATE, L.L.C. TO COUNTY BANK, DATED MAY 30, 2019 AND RECORDED JUNE 4, 2019 IN 9620 PAGE 253. - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
  - THE ABOVE MORTGAGE APPEARS TO BE AN OPEN END MORTGAGE SECURING FUTURE ADVANCES. IF THIS MORTGAGE IS TO BE PAID IN FULL/SATISFIED AND REMOVED FROM THE POLICY TO BE ISSUED ON THIS MATTER, THE EQUITY LOAN ACCOUNT IS TO BE CLOSED OR FROZEN BEFORE THE PAYOFF IS ISSUED. ANOTHER STEP THAT IS OFTEN REQUIRED BY THE LINE OF CREDIT MORTGAGE LENDER IS A CLOSE OUT LETTER SIGNED BY THE MORTGAGOR/FEE OWNER IN ORDER FOR THE LENDER TO PROCEED TO SATISFY THE MORTGAGE.
  - ASSIGNMENT OF RENTS: BETWEEN CARL P. KING REAL ESTATE, L.L.C. AND COUNTY BANK, DATED MAY 30, 2019 AND RECORDED JUNE 4, 2019 IN ASSIGNMENT RECORD 9620 PAGE 266. - NOT SURVEY RELATED - AFFECTS SUBJECT PROPERTY.
  - RIGHT OF WAY AGREEMENT: TO DELAWARE POWER & LIGHT COMPANY, DATED MARCH 22, 1950 AND RECORDED APRIL 26, 1950 IN DEED RECORD A VOLUME 19 PAGE 459. - LOCATION CAN NOT BE DETERMINED - UNABLE TO DETERMINE AFFECT - EXISTING POLES ON AND ADJACENT TO SUBJECT PROPERTY.
  - RIGHT OF WAY AGREEMENT: TO DELAWARE POWER & LIGHT COMPANY, DATED MARCH 28, 1950 AND RECORDED APRIL 26, 1950 IN DEED RECORD A VOLUME 19 PAGE 464. - LOCATION CAN NOT BE DETERMINED - UNABLE TO DETERMINE AFFECT - EXISTING POLES ON AND ADJACENT TO SUBJECT PROPERTY.
  - RIGHT OF WAY: TO DELAWARE POWER & LIGHT COMPANY RECORDED AUGUST 25, 1955 IN DEED RECORD C VOLUME 21 PAGE 110. - LOCATION CAN NOT BE DETERMINED - UNABLE TO DETERMINE AFFECT - EXISTING POLES ON AND ADJACENT TO SUBJECT PROPERTY.
  - RIGHT OF INGRESS, EGRESS AND REGRESS: BETWEEN BRADLEY V. KING AND BLANCHE H. KING AND CARL P. KING AND HATTIE E. KING, DATED FEBRUARY 9, 1962 AND RECORDED FEBRUARY 9, 1962 IN DEED RECORD T VOLUME 22 PAGE 506. - LOCATED OFF SITE. - DOES NOT AFFECT SUBJECT PROPERTY.
  - RIGHT OF WAY: TO DELMARVA POWER & LIGHT COMPANY, DATED DECEMBER 13, 1978 AND RECORDED JANUARY 5, 1979 IN DEED RECORD M VOLUME 33 PAGE 73. - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY.
  - UTILITY EASEMENT AGREEMENT: BETWEEN CARL KING, INC. AND DELMARVA POWER & LIGHT COMPANY, DATED NOVEMBER 20, 1980 AND RECORDED JANUARY 28, 1981 IN DEED RECORD M VOLUME 49 PAGE 218. - LOCATION CAN NOT BE DETERMINED - UNABLE TO DETERMINE AFFECT. - EXISTING POLES ON AND ADJACENT TO SUBJECT PROPERTY.
  - SANITARY SEWER EASEMENT AND RIGHT OF WAY: BETWEEN CARL P. KING AND THE CAMDEN-WYOMING SEWER AND WATER AUTHORITY, DATED NOVEMBER 22, 1999 AND RECORDED DECEMBER 6, 1999 IN DEED RECORD 341 PAGE 313. - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY.
  - SANITARY SEWER EASEMENT AND RIGHT OF WAY: BETWEEN ROBERTA HOLT AND THE CAMDEN-WYOMING SEWER AND WATER AUTHORITY, DATED NOVEMBER 19, 1999 AND RECORDED DECEMBER 6, 1999 IN DEED RECORD 341 PAGE 319. - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY.
  - PERMANENT EASEMENT FOR INGRESS AND EGRESS: BETWEEN CARL P. KING REAL ESTATE LLC AND BLUE HEN REALTY CORPORATION, DATED APRIL 21, 2006 AND RECORDED APRIL 27, 2006 IN DEED RECORD 2908 PAGE 159 (CHAIN DEED). - LOCATED OFF SITE. - DOES NOT AFFECT SUBJECT PROPERTY.
  - PERMANENT EASEMENT FOR INGRESS AND EGRESS: BETWEEN BLUE HEN REALTY CORPORATION AND CARL P. KING REAL ESTATE LLC, DATED APRIL 21, 2006 AND RECORDED SEPTEMBER 22, 2006 IN DEED RECORD 3261 PAGE 303 (CHAIN DEED). - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY.
  - PERMANENT EASEMENT FOR INGRESS AND EGRESS: BETWEEN CARL P. KING REAL ESTATE, L.L.C. AND MORLAW TRUSTEE CORP., DATED DECEMBER 11, 2009 AND RECORDED DECEMBER 21, 2009 IN DEED RECORD 5250 PAGE 144 (CHAIN DEED). - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY.
  - PERMANENT EASEMENT FOR INGRESS AND EGRESS: BETWEEN MORLAW TRUSTEE CORP. AND CARL P. KING REAL ESTATE, L.L.C. AND BLUE HEN REALTY CORPORATION, DATED DECEMBER 11, 2009 AND RECORDED DECEMBER 21, 2009 IN DEED RECORD 5250 PAGE 149 (TITLE DEED). - LOCATED OFF SITE - DOES NOT AFFECT SUBJECT PROPERTY.
  - TRAFFIC SIGNAL INSTALLATION AND MAINTENANCE AGREEMENT: BY AND BETWEEN DELAWARE DEPARTMENT OF TRANSPORTATION AND CARL P. KING REAL ESTATE LLC, DATED FEBRUARY 17, 2017 AND RECORDED MARCH 7, 2017 IN RECORD BOOK 8526 PAGE 163. - LOCATED ON SITE. - LIMITS CAN NOT BE DETERMINED. - AFFECTS SUBJECT PROPERTY.
  - RECORD MAJOR SUBDIVISION PLAN FOR RICKARDS LANDS: AS SHOWN IN PLOT BOOK 5 PAGE 29, SUBJECT PARCEL BEING PART OF PARCEL NO. 2 ON SAID PLAN - FORMER RIGHT-OF-WAY OF EAST STREET IS SHOWN ON THIS PLAN. - AFFECTS SUBJECT PROPERTY.
  - RECORD MAJOR SUBDIVISION PLAN FOR MINOR LOT LINE ADJUSTMENT FOR: CARL P. KING REAL ESTATE, L.L.C. AS SHOWN IN PLOT BOOK 81 PAGE 70. - FORMER RIGHT-OF-WAY OF EAST STREET SHOWN ON THIS PLAN. - AFFECTS SUBJECT PROPERTY.

- RECORD MAJOR SUBDIVISION PLAN FOR KING COMMERCIAL DEVELOPMENT: AS SHOWN IN:
  - PLOT BOOK 132 PAGE 23, SUBJECT PARCEL BEING PARCEL #3 ON SAID PLAN. - SETBACK, FORMER RIGHT-OF-WAY OF EAST STREET, AND EASEMENT SHOWN ON THIS PLAN. - AFFECTS SUBJECT PROPERTY.
  - PLOT BOOK 132 PAGE 56, SUBJECT PARCEL BEING PARCEL #3 ON SAID PLAN. - SETBACK, FORMER RIGHT-OF-WAY OF EAST STREET, FORMER PROPERTY LINE AND EASEMENT SHOWN ON THIS PLAN. - AFFECTS SUBJECT PROPERTY.
- ANY EASEMENTS, RESTRICTIONS, RESERVATIONS AND CONDITIONS WHICH MAY BE DISCLOSED BY A SURVEY OF THE PREMISES.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88, BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS). TEMPORARY BENCHMARKS SET:
  - TBM-A: MAG NAIL SET IN ASPHALT WALK, ELEVATION +39.81
  - TBM-B: MAG NAIL SET IN CONCRETE WALK, ELEVATION +39.81PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT HE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- A SUBSURFACE UTILITY MARKOUT WAS PERFORMED BY CONTROL POINT ASSOCIATES, INC. TO ASSIST IN THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE MARKED 8-21-2019 AND FIELD LOCATED 8-21-2019. SEE REF. #4. TEST HOLES WERE PERFORMED ON 10-29-2019 AND FIELD LOCATED ON 11-4-2019.
- THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES HAVE BEEN MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION.
- THERE ARE NO PARKING SPACES ON THE SUBJECT PROPERTY.

REFERENCES:

- THE OFFICIAL TAX ASSESSOR'S MAP OF TOWN OF CAMDEN (NORTH MURDERKILL HUNDRED), KENT COUNTY, STATE OF DELAWARE.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, KENT COUNTY, DELAWARE AND INCORPORATED AREAS, PANEL 231 OF 346", MAP NUMBER 10001C0231H, EFFECTIVE DATE: MAY 5, 2003.
- MAP ENTITLED "KING COMMERCIAL DEVELOPMENT, TOWN OF CAMDEN, KENT COUNTY, DELAWARE" PREPARED BY DAVIS, BOWEN & FRIEDEL, INC., DATED MAY 2016, REVISED 4-26-2017, PROJ. NO. 1898A001, DWG. NO. R-2
- MAP SHOWING UNDERGROUND UTILITY LOCATIONS BASED UPON A SUBSURFACE UTILITY LOCATION SURVEY PERFORMED AND PREPARED BY CONTROL POINT ASSOCIATES, INC.

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY MISS UTILITY OF DELMARVA (1-800-282-8555) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 152270312

UTILITY COMPANY	PHONE NUMBER
COMCAST/CABLE PROTECTION	(804) 562-3409
CHESAPEAKE UTILITIES	(302) 734-6797
CAMDEN-WYOMING SEWER & WA	(302) 697-6372
DELMARVA POWER/UTILQUEST	(609) 758-4700
EASTERN SHORE NATURAL GAS	(302) 734-6720
KENT COUNTY PUBLIC WORKS	(302) 744-2430
DELAWARE DEPT OF TRANS	(302) 387-3707
TIDEWATER UTILITIES	(302) 216-8538
VERIZON	(609) 758-4700

DEMOLITION CONSTRUCTION NOTES

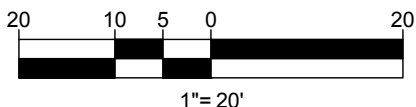
R-1	EXISTING SIGN TO BE REMOVED
R-2	REMOVE EXISTING PAVEMENT AS NEEDED FOR CONSTRUCTION. SAW CUT EXISTING PAVEMENT IN STRAIGHT LINES (TYP)
R-3	REMOVE EXISTING CONCRETE CURB AS NEEDED FOR CONSTRUCTION (TYP)
R-4	REMOVE EXISTING CONCRETE SIDEWALK AS NEEDED FOR CONSTRUCTION (TYP)
R-5	REMOVE EXISTING STORM DRAIN PIPE, REFERENCE UTILITY PLAN FOR LIMITS.
R-6	REMOVE AND RELOCATE EXISTING TELEPHONE LINE PER PROVIDER SPECIFICATION AND CONNECT PROPOSED TELEPHONE LINE. SEE UTILITY PLAN FOR MORE INFO. COORDINATE REMOVAL WITH UTILITY COMPANY. REFERENCE APPLICABLE TEST PIT DUE DILIGENCE REQUIRED BY THE GC SHOWN ON SHEET C-501.
R-7	PROPOSED SAWCUT
R-8	REMOVE EXISTING FLARED END SECTION
R-9	REMOVE EXISTING STONE
R-10	EXISTING STONE AREA TO BE VERIFIED AND UTILIZED IF POSSIBLE FOR BASE OF PROPOSED SIDEWALK. IF NOT SUITABLE PER SIDEWALK DETAIL, GC TO REMOVE
R-11	REMOVE PORTION OF EXISTING STORM PIPE. SEE UTILITY PLAN FOR DETAILS

SITE IMPROVEMENT PLANS

PLAN SCALE: AS NOTED		
STREET ADDRESS EAST STREET		
KING COMMERCIAL DEVELOPMENT		LOT NUMBER 3
TOWN CAMDEN	COUNTY KENT COUNTY	STATE DE
REGIONAL DWG. NO DE190053	PLAN DESCRIPTION DEMOLITION PLAN	
CAD FILE: DE190053-PSP-0		

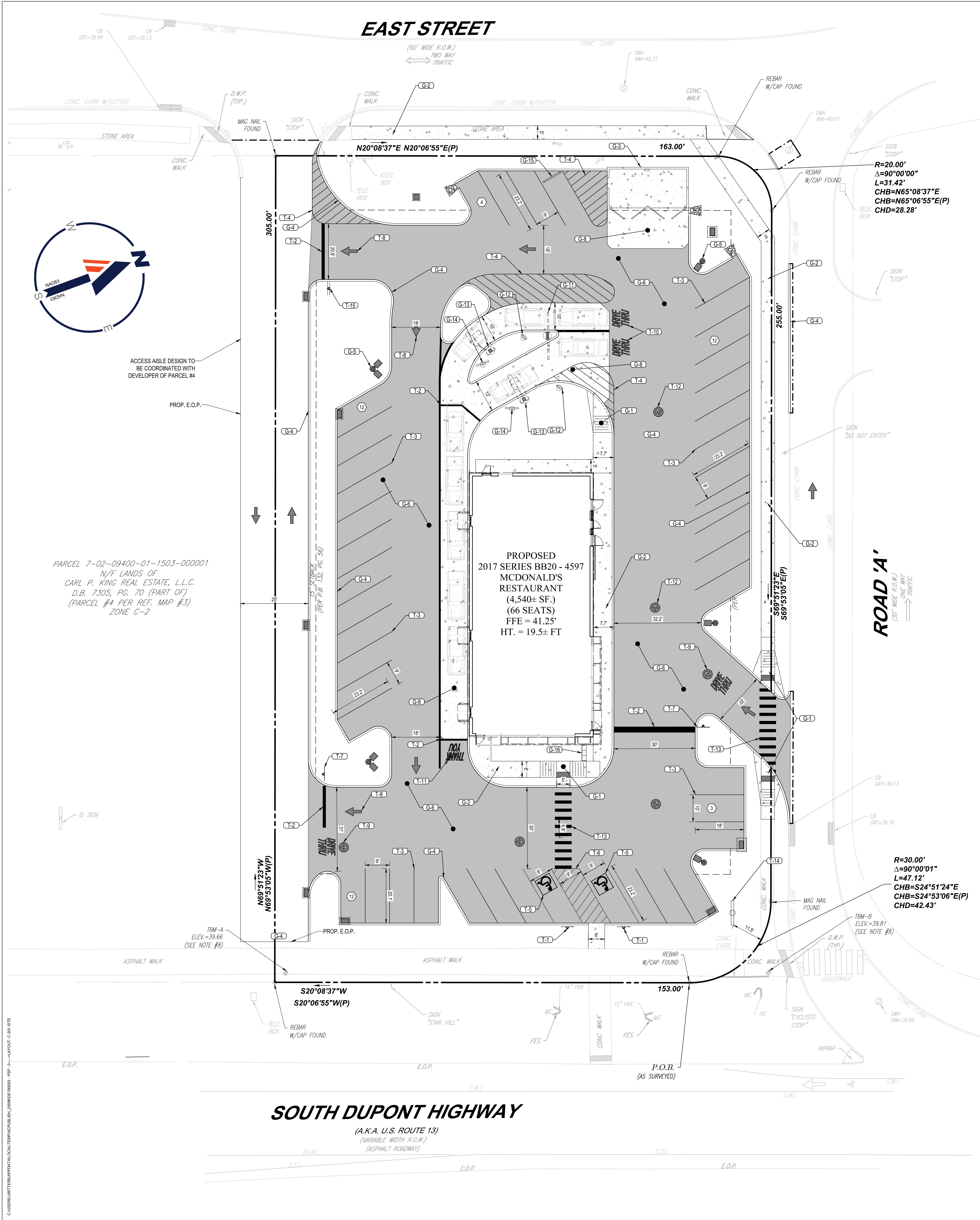
**BOHLER**  
18958 COASTAL HWY, SUITE D  
REHOBOTH BEACH, DE 19971  
Phone: (302) 644-1155  
Fax: (302) 703-3173  
BohlerEngineering.com

**A.N. McLAUGHLIN**  
PROFESSIONAL ENGINEER  
No. 18108  
DELAWARE  
EXPIRATION DATE: 02/18/2026

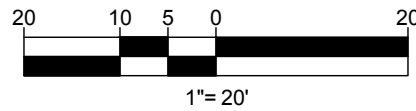


FINAL PLAN SIGNATURES		BY		ISSUE REF	
P.M.	G.C.	O.O.			
McDonald's		DATE		DESCRIPTION	
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S USA, L.L.C. AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.		REV			
OFFICE ADDRESS		CO-SIGN SIGNATURES			
110 NORTH CARPENTER STREET CAMDEN, IL 60607 (630) 623-5000		CONTRACTOR OWNER			
DATE		STATUS			
SIGNATURE (2 REQUIRED)		PRELIMINARY			
REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.		
CONTRACTOR		OWNER			









**BOHLER** //

18958 COASTAL HWY, SUITE D  
REHOBOTH BEACH, DE 19971


Phone: (302) 644-1155  
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***BohlerEngineering.com***

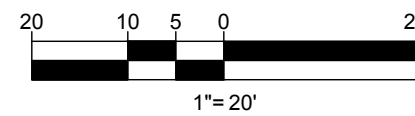


NOTE:  
1. ALL SPOT ELEVATION LABELS ADJACENT TO A CURB  
INDICATE THE BOTTOM FACE OF THE CURB ELEVATION  
UNLESS INDICATED OTHERWISE.

<b>SITE IMPROVEMENT PLANS</b>		
PLAN SCALE: AS NOTED		
STREET ADDRESS EAST STREET		
KING COMMERCIAL DEVELOPMENT		LOT NUMBER 3
TOWN CAMDEN	COUNTY KENT COUNTY	STATE DE
REGIONAL DWG. NO DE190053	PLAN DESCRIPTION GRADING PLAN	
CAD FILE: DE190053-PSP-0		

C-401	PLAN APPROVALS			<div><p>THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.</p></div>			FINAL PLAN SIGNATURES			BY	ISSUE REF.
	SIGNATURE (2 REQUIRED)		DATE								
	REGIONAL MGR.										
	CONST. MGR.										
	OPERATIONS DEPT.										
	REAL ESTATE DEPT.			CO-SIGN SIGNATURES							
	STATUS			DATE			BY				
	PRELIMINARY			02/18/20			JSW				
	PLAN CHECKED			02/18/20			ANM				
	AS-BUILT										
CONTRACTOR			OWNER			ADDRESS			110 NORTH CARPENTER STREET CHICAGO, IL 60607 (830) 622-3000		





**BOHLER** //

---

18958 COASTAL HWY, SUITE D  
REHOBOTH BEACH, DE 19971

Phone: (302) 644-1155  
Fax: (302) 703-3173

***BohlerEngineering.com***



<b>SITE IMPROVEMENT PLAN</b>	
PLAN SCALE: AS NOTED	
STREET ADDRESS EAST STREET	
KING COMMERCIAL DEVELOPMENT	LOT NUMBER 3
TOWN CAMDEN	COUNTY KENT COUNTY
	STATE DE
REGIONAL DWG. NO DE190053	PLAN DESCRIPTION UTILITY PLAN
CAD FILE: DE190053-PSP-0	

C-501











2. DISTANCE BETWEEN READINGS 10'



Allowed EPA 7.2 @  
Wind Load 90MPH


A 3D architectural rendering of a parking lot layout. The central feature is a large, dark, rectangular building. Surrounding the building are several rows of parking spaces, each marked with a white number. The parking lot is bordered by a low wall and a sidewalk. To the right of the parking lot is a road with a yellow curb and a green-painted area. The entire scene is set against a dark background, suggesting a night or low-light environment.

THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY YOU FOR THE  
TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED  
FOR YOUR VISUAL REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR  
PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION  
(POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE  
COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE  
PROJECT.

2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY  
CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF  
THESE COMPONENTS MAY VARY FROM THE TESTED DATA.

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE  
RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF  
THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY  
REQUIREMENTS, PLEASE CONSULT FACILITY WITH SPECIFIC DETAILS REGARDING  
THESE REQUIREMENTS. REQUIREMENTS MAY BE SUBJECT TO CHANGING  
REGULATIONS.

	
2100 SCOT ROAD, Suite 400, Rolling Meadows, IL 60008 708/994-4848	
UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES	
SCALE	1" = 20' 0"
DRAWN BY <b>BV</b>	
POINT-BY-POINT FOOTCANDLE PLOT FOR MCDONALDS 270 S DUPONT HWY CAMDEN, DE	
NATIONAL STORE NUMBER	
DATE	DRAWING NUMBER
2/15/2020	SL2002026.AGI





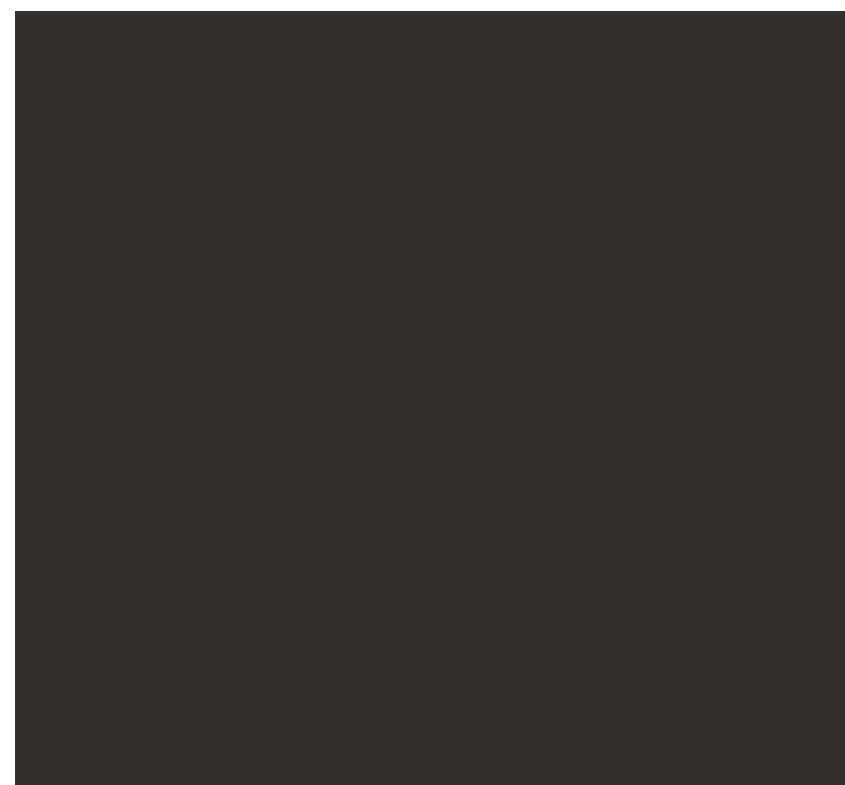
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Imagery © 2020 Nearmap, HERE

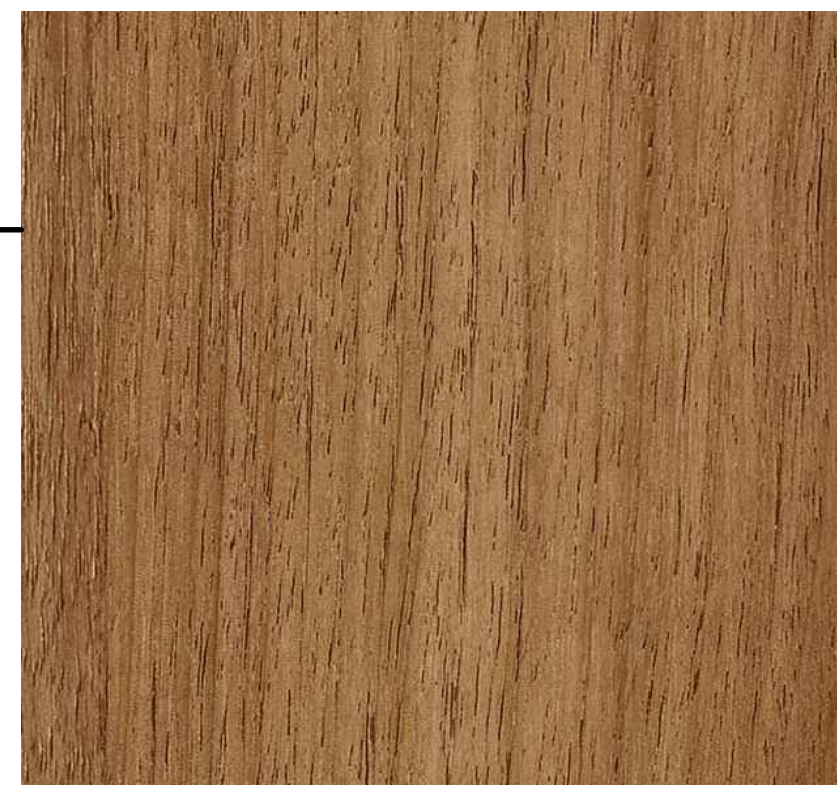
100 ft

nearmap





EIFS - COLOR : RAL 7022  
FINISH : HYDROPHOBIC // FINESSE



ALUMINUM BATTEN BY FORTINA  
COLOR : TA-647

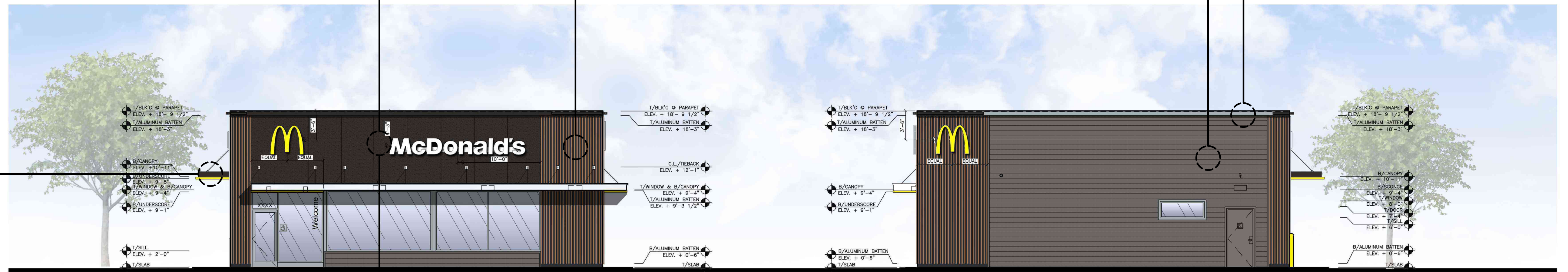
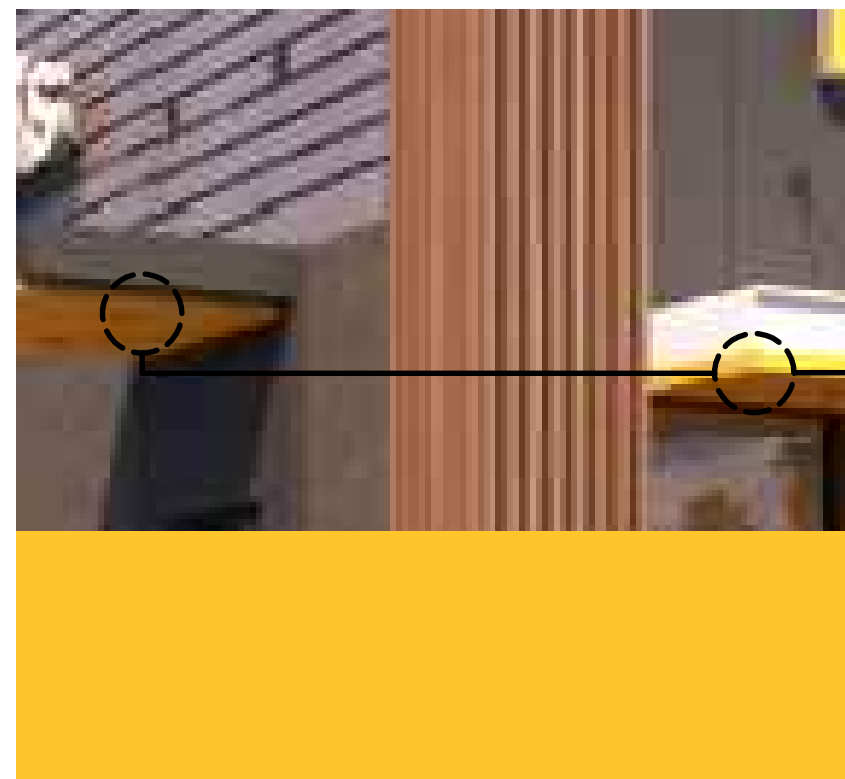


HARDIE PLANK BY JAMES HARDIE  
AGED PEWTER



ANCHOR TITLE  
PARAPET FASCIA BAND  
COLOR : WEATHERED ZINC

ALUMINUM TRELLIS AND FASCIA  
WITH GOLD UNDERSCORE  
COLOR : PMS 123C



Front Elevation

Rear Elevation



MCDONALDS SIGNAGE  
- BY OTHERS  
COLOR: PMS123C



Non-Drive-Thru Side Elevation

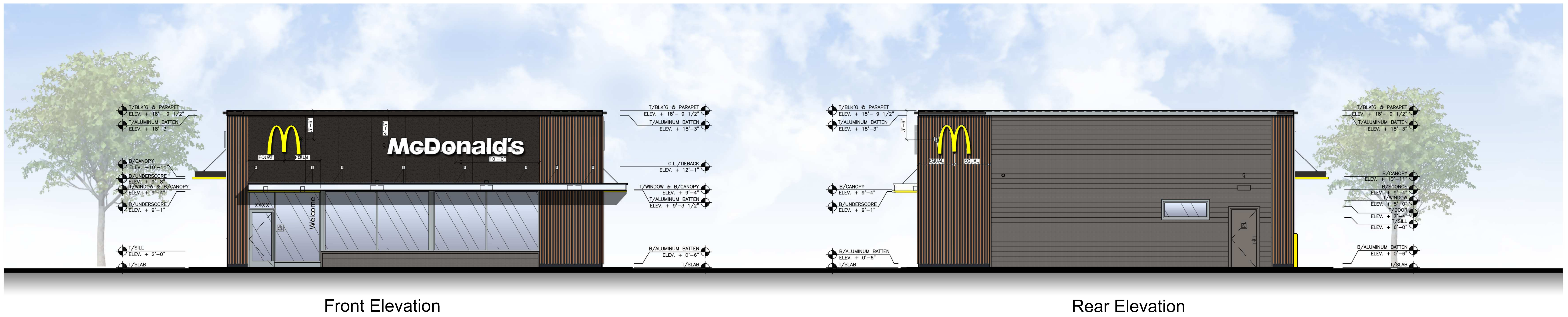
ALUMINUM COMPOSITE PANEL  
BY APOLIC. COLOR : RAL 7022



Drive-Thru Side Elevation

SCHEME: STEEL	
Materials Legend:	
	Fiber Cement Panel:
	Hardie Plank by James Hardie
	Aged Pewter
	Drive-Thru Metal Panel:
	Alpolic Metal Panel by Alpolic
	RAL 7022
	2x2 Aluminum Battens
	Gold Underscore
	Aluminum Canopy (Metal)
	Glazing
	(Windows + Storefront)
	Bronze Metal (Coping)
	Metal (Coping)





SCHEME: STEEL	
Materials Legend:	
	Fiber Cement Panel: Hardie Plank by James Hardie Aged Pewter
	Drive-Thru - Metal Panel: Alpolic Metal Panel by Alpolic RAL 7022
	2x2 Aluminum Battens
	Gold Underscore
	Aluminum Canopy (Metal)
	Glazing (Windows + Storefront)
	Bronze Metal (Coping)
	Metal (Coping)



THIS EXHIBIT IS FOR ILLUSTRATIVE PURPOSES ONLY. ALL SITE IMPROVEMENTS SHOWN HEREIN ARE CONCEPTUAL, AND SUBJECT TO CHANGE WITH FINAL DESIGN.

EXISTING GROTTO PIZZA

PROPOSED INGRESS ENTRANCE

PROPOSED CONCRETE SIDEWALK

PROPOSED TRASH ENCLOSURE

PROPOSED HORSE HITCH

PROPOSED CONCRETE SIDEWALK

EAST STREET

PROPOSED EXIT ONLY

VACANT LOT

PROPOSED 4,540± SF McDONALD'S RESTAURANT

McDonald's

PROPOSED ID SIGN

PROPOSED BIKE RACK

PROPOSED PEDESTRIAN ACCESS

EXISTING SHARED-USE PATH

SOUTH DUPONT HIGHWAY (US RT. 13)

PROPOSED FULL MOVEMENT ENTRANCE

NORTH

3/18/2020

# BOHLER //