

Town of Camden
Regular Planning Commission Meeting
Camden Municipal Building
May 20, 2020

CALL TO ORDER

Commissioner Johnson led attendees in the Pledge of Allegiance.

Chairwoman Gray called the meeting to order at 7:45 p.m. and noticed that this regular Planning Commission Meeting is being held in compliance with Delaware Open Public Meeting Act by posting the agenda on May 13, 2020, in the following manner:

- The official bulletin boards,
- Posted on the official electronic sign, and
- Posted on the official website.

Members Attending: Chairwoman Gray, Commissioner Michael Johnson, Commissioner Thomas Wanstall, Commissioner Colaprete and Commissioner Schock.

Members absent: None.

Staff Attending: Town Clerk Sarah Cahall, Building Inspector/Code Enforcer Harold Scott, and finance specialist Amanda Marlow.

MINUTES

A motion was made by Commissioner Johnson, seconded by Commissioner Schock, to approve the minutes as written from the January 15, 2020 Planning Commission Meeting. All in favor; none opposed.

NEW BUSINESS

The applicant is requesting preliminary site plan approval to develop on East St parcel, McDonald's Restaurant, Tax map No. 7-02-094.00-01-15.02-000

William Rhodunda representing McDonalds Corporation informed the Planning Commission that the Board of Adjustment approved all their four minor variances as follow:

- East St parcel, McDonald's Restaurant, 7-02-094.00-01-15.02-000, application submitted for relief from allowed number of sign quantity for three wall signs & area to a maximum size of 33 plus square feet for each.
- East St parcel, McDonald's Restaurant, 7-02-094.00-01-15.02-000, Relief from allowed parking spaces to a minimum of 43.
- East St parcel, McDonald's Restaurant, 7-02-094.00-01-15.02-000, Relief to allow minimum area for parking stalls to 180 plus square feet.

- East St parcel, McDonald's Restaurant, 7-02-094.00-01-15.02-000, Relief from planted islands for every 10 parking spaces, as the greatest parking row length is 12 spaces.

Michael Jeitner represented McDonalds presented the board with their plans. He added the site pad is accounted for road access, storm water, and utilities. McDonalds would like to propose a 4500 square foot building. He gave detail on the accessing the entrance ways into McDonalds with a side by side drive thru lane, 42 parking spaces, concrete pad for future bus shutter, hitching post, trash encloser and the loading and unloading deliveries with bringing in and out inventory roughly 15 mins and not delivering during peak times. He added they're under the 80% storm water rate control. They will be adding 16% landscaping appearance and 300 planting units. The goal is to start construction in 2021, they want to make sure it's being conducted in a safe matter while we are currently under a pandemic.

Mr. Jeitner stated the building material is more modern and earth tone colors compared to the older McDonalds. This will be McDonalds first new design and layout in Delaware. He added the project is straight forward and excited to moved towards the next steps.

Commission Johnson asked what kind of material is being used.

Mr. Jeitner said most of material in metal and aluminum which gives off a wood look appearance.

Commission Johnson were the trash receptacles location would be and if the trash trucks would block the drive thru or cause any hazards.

Mr. Jeitner stated it would be in the back-right hand corner enclosed on all three sides with a gate lock and with landscaping screen. He added that the trash trucks would be about 50 feet away from the drive thru.

Commission Johnson stated he didn't see a bike rack.

Mr. Jeitner added the goal is to have one in the front of the extended area on the concrete pad and it's noted on the site plan under G-16.

Mrs. Schock was curious what section of the parcel is McDonalds.

Mr. Jeitner said when the parcel was subdivided, they went straight down the middle.

Chairwoman Gray questioned the material for the enclosure of the refuge.

Mr. Jeitner believes it will be masonry or board on board.

Chairwoman Gray stated she would prefer masonry with earth tone colors matching the building design.

Chairwoman Gray asked if there would be room for recycling.

Mr. Jeitner said there's room for two dumpsters and an area for recyclables.

Mrs. Marlow explained that the Towns Engineer said to please dimension the building setbacks lines on the plan set. The sewer line from the building to the grease trap should enter the grease trap in the back of the tank not on the side of the tank.

Chairwoman Gray said it was hard to visuals how the landscaping would look from the roads

Mr. Jeitner said there will be a shrub row along the back of East St., trees within corners, and screening around dumpsters.

Mr. Jeitner added the drive thru side will be facing the Valero and the non-drive thru will be facing Grottos side. Front elevations will face route 13 and rear elevations will face East St.

Mr. Colaprete stated that the bulk of the traffic would be going to the dumpster and cycling around the building twice.

Mr. Jeitner said there will be that split and activity but, it's all one-way counterclockwise circulation.

Commission Johnson wanted to add that the presentation was one of most prepared and organized presenters he has seen since he's been on the board.

Mr. Jeitner appreciated the comments and it was pleasure working with them.

A motion was made by Commissioner Johnson, seconded by Commissioner Wanstall, to approve the application as submitted for preliminary site plans with the expectations of dimension the building setbacks lines on the plan set. The sewer line from the building to the grease trap should enter the grease trap in the back of the tank not on the side of the tank. Masonry material for the dumpster coverage with the suggestion of earth tone colors matching the building design.

PUBLIC COMMENT

None.

ADJOURNMENT

At 8:16 p.m. a motion was made by Commissioner Schock, seconded by Commissioner Wanstall, to adjourn the regular meeting. All in favor; none opposed.

**Respectfully submitted,
Sarah Cahall, Town Clerk**

BECKER
MORGAN

G R O U P

ARCHITECTURE
ENGINEERING

PLANNING OUR
CLIENTS' SUCCESS

May 18, 2020

Mrs. Sara Cahall, Town Clerk
Town of Camden
1783 Friends Way
Camden, DE 19934

RE: **Site Plan Application**
CAMDEN DOLLAR GENERAL
Camden, Delaware
2019207.00

Dear Mrs. Cahall:

On behalf of our client, PTV LLC, we are hereby submitting our Final Site Development Plan for the Dollar General Camden Project located at 2035 South Dupont Highway, north Camden. The project involves the consolidation of the parcels and redevelopment of the site into a 9100 sqft Dollar General Store, associated parking and stormwater improvements. We have prepared these plans based on applicable codes and regulations for the Town and the State. We are submitting this plan for consideration at the June 18 2020 Planning Commission meeting for final town approval. In support of our submission, we are providing the following:

1. Five (5) copies of the Preliminary Site Plan
2. Alternate architecture elevation for south facing wall.
3. Photos of the existing foliage along Howell Street (2)

At its meeting on September 16, 2019, the Board of Adjustment granted approval of the parking reduction request as well as a partial curbing removal. We have prepared the enclosed plans accordingly. Additionally, the Planning Commission granted waivers from the irrigation requirements as well as a partial landscaping requirement from the street and buffer trees, given the number of existing trees we are attempting to preserve on site. As discussed in our meeting in September, we have added additional trees where possible, however. With the amount of utilities in the areas of open space, we have been limited to the total number of trees we can add to the site given the restrictions on separation distances from utilities and regulations.

Additionally, we have provided additional architectural elevations provided by the architect for the south facing wall. This was a discussion point at the planning commission, we agreed to look at alternate elevations, in concert with landscaping to screen that wall. We have provided the elevations with an alternate color of downspout to breakup the wall, but have not been able to plant additional planting due to restrictions in utility separation distances and the proximity to DelDOT's permanent Easement which restricts plantings within the easement on Howell. This easement is located roughly 5 feet from the building and was not previously anticipated in the design. We are however, preserving the street trees along Howell to aid in screening that wall. We have provided two photos of the plantings and will supplement with further graphics showing the amount of screening.

Although, as of May 18, 2020, we do not have in hand approvals from all agencies, we

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SUITE 211
3205 RANDALL PARKWAY
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ARCHITECTURE
ENGINEERING

DOLLAR GENERAL CAMDEN.

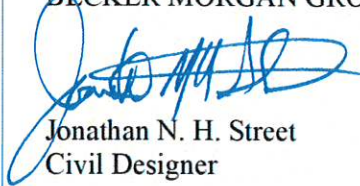
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anticipate approvals from most if not all the agencies by the planning commission hearing. Final Town approval gives the developer the ability to move forward pending outstanding approval, mainly DeDOT. We request this project be included on the agenda for the June 18, 2020, Planning Commission hearing for final approval.

Please contact me with any questions you may have.

Sincerely,

BECKER MORGAN GROUP, INC.



Jonathan N. H. Street
Civil Designer

JNS/

Enclosures

cc: Ben Syput, PTV 1099 LLC

201920700bc-TOC-ltr



KENT CONSERVATION DISTRICT

1679 SOUTH DUPONT HIGHWAY • DOVER, DELAWARE 19901 • (302) 608-5370 • WWW.KENTCD.ORG

April 15, 2020

Mr. Jonathan Street
Becker Morgan Group
309 S. Governors Ave
Dover, DE 19904

Re: Dollar General - Camden
Review #1

Dear Mr. Street:

Kent Conservation District has reviewed the Sediment and Stormwater management plans submitted for the above referenced project. Additional information will be necessary in order for the plans to be approved. Please address the following comments:

Advisory for all plans:

- All new plans are now subject to the 2019 Sediment and Stormwater Regulations. DURMM v2.51 is also now available on the DNREC website.
- All submissions require a full contractor plan set. This includes utility plans and landscape plans.

Comments:

1. Fees were updated on February 1, 2020. Difference will be sent in with future submission per 3/27 email with Jonathan Street.
2. NOI is still needed.
3. In the Report Section 3.0, update the stormwater method to 2019 regs.
4. The conclusion in the report references gravel wetlands which are not in this project.
5. On the A.3 DURMM coversheet, it says the project is in Kenton not Camden.
6. The drainage area lines do not appear to follow the ridgelines. Adjust DA lines so that they encompass the full DAs.
7. Remove the E&S info from the SWM-POST DA maps.
8. On the demo plan, mark existing buildings as "to be removed".
9. The roof drain trunk line runs too close to the regular stormwater line. If either need maintenance, it could cause a conflict.
10. The building's gas cutoff is too close to the roof drain trunk line.
11. The Sequence of Construction Note 13 does not apply to this project. Please correct the notes to the current BMP design.

12. In the Sequence of Construction include a note about the required soil confirmatory testing.
13. IP is needed at CB RD-2A.
14. On C-503, Infiltration Basin Section A-A, some of the information is covered or missing.
15. SMH #1 in HydroCAD appears to be PR SD MH 1Z. There is both a CB RD-2A and Pipe RD-2A. CB RD-2A is not on the roof drain pipe run. Recommend to rename it for clarity and make naming consistent.
16. Provide landscape plan.
17. Some sort of junction is needed at the turn of pipe RD-2A.
18. SD-1A should be added to the pipe schedule.
19. Label 2Z as a manhole on the plans.
20. SWM #1 is not adequately portrayed in HydroCAD. We have a 18" pipe and 15" pipe into the catch basin with a pipe out of only 12". The basin has peak elevations of 22.34 for the Cv and 23.15 for Fv. The downstream manhole PR SD MH 1Z rim elevation is 22.10. Adjust model so that MH 1Z is not overtopped. Pipes and/or basin may need to be resized.

Further comments may be provided once the above items are addressed and reviewed by this office. If the District does not receive a response within 6 months, this application will be considered withdrawn and all new information and fees must be submitted for review. Your revision package should include an item by item response narrative. If you should have any questions concerning these comments, please do not hesitate to contact us.

As a reminder, the Kent Conservation District is required to verify that a *Notice of Intent (NOI)* for Stormwater Discharges Associated with Construction Activity under a *NPDES General Permit* has been received by DNREC prior to District approval.

If you should have any questions concerning these comments, please don't hesitate to contact the office at (302) 608-5370 or via email.

Sincerely,
THE KENT CONSERVATION DISTRICT

Jessica Lee Verchick

Digital Signature April 9, 2020**

Jessica L. Verchick, EIT
Stormwater Engineer

Cc: L. Aaron Chaffinch, Town of Camden
Steven Wright, P.E., DelDOT Planning



(302) 697-2239 VOICE
(302) 697-2293 FAX

250A CAMDEN WYOMING AVENUE
CAMDEN-WYOMING, DE 19934

June 4, 2020

Sarah Cahall
Town Clerk
Town of Camden
1783 Friends Way
Camden, DE 19934

RE: Final Site Plan review for Camden Dollar General
Tax Parcel NM-00-085.20-01-30.00, 31.00, 32.00 and 33.00

Dear Sarah,

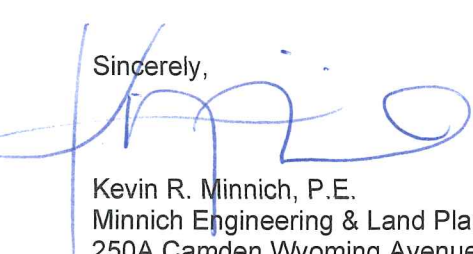
After review of the Overall Site Plan dated 10/23/2019 and associated documents forwarded to me in reference to the Camden Dollar General located between Howell Street and Asbury Avenue, I would offer the following comments in accordance with the Town of Camden's Land Use and Subdivision Ordinance:

1. Please provide dimensioning for a typical parking space and the handicap spaces on the Overall Site Plan.
2. Please list the variances granted from the Camden Board of Adjustment in the general notes on the Overall Site Plan.
3. Please provide dimensions from the property lines to the nearest building corners on the Overall Site Plan.
4. Please check note 21 of the General Landscaping Notes on the Landscape Plan. It appears this should say Article IV, Section 240-39 of the Town's Land Use Zoning Ordinance.

Just as general comments, I believe the Site Plan makes every attempt to curb the entire parking area with the exception of a small portion leading to Asbury Avenue. By design, this uncurbed area is necessary to convey stormwater runoff to the proposed stormwater management infiltration basin. I also feel that the Landscape Plan meets the intent of Article IV, Section 240-39 of the Town of Camden's Land Use and Zoning Ordinance. Final approval of the Landscape Plan ultimately lies in the hands of the Town of Camden Planning Commission.

It is my understanding that these additional items would be part of the minimum requirements for the Final Site Plan approval with the Town of Camden.

Sincerely,



Kevin R. Minnich, P.E.
Minnich Engineering & Land Planning Inc.
250A Camden Wyoming Avenue
Camden, DE 19934
302-697-2239 Camden Office
302-349-5381 Greenwood Office

Town of Camden
Board of Adjustment Meeting
Camden Municipal Building
November 20, 2019

CALL TO ORDER

Commissioner Torres called the meeting to order at 6:30 p.m. and noticed that this regular Board of Adjustment meeting is being held in compliance with Delaware Open Public Meeting Act by posting the agenda on November 13, 2019, in the following manner:

- The official bulletin boards;
- Posted on the official electronic sign; and
- Posted on the official website

Member Torres led attendees in the Pledge of Allegiance.

Members Attending: Commissioner Badger, Commissioner Torres, and Commissioner Kelly.

Members absent: Chairman Prystajko

Staff Attending: Town Clerk Jamie Fenske and Code Enforcement Officer Harold Scott Jr

MINUTES

Motion made by Commissioner Badger seconded by Commissioner Kelly, to approve the October 16, 2019 regular meeting minutes. All in favor; none opposed.

NEW BUSINESS

2035 S Dupont Hyw, S Dupont Hwy, 7 Howell Street, and 16 Asbury Ave; parcels 7-00-085.20-01-30.00-000, 31.00, 32.00, 33.00, application submitted for relief from number of parking spaces.

Johnathan Street from Becker and Morgan explained that they are requesting a variance for the properties that are newly annexed into the Town of Camden. These properties are located between Pizzadili and Auto Zone. The code requires them to have a total of 149 spaces and they are asking for a variance to allow only 30 spaces.

Mr. Street stated that due to the shape and size of the lot it makes it hard to have the required number of spaces. Dollar Generals goal is to accommodate it's customers as much as possible and to provide parking that is close to the store. He added that they have performed studies and found that 25 is sufficient parking for their stores. Also they would like to preserve as many of the existing trees as possible.

Commissioner Torres explained that he has reviewed the plans and the site and that he has no questions and is in favor of the variance.

Commissioner Badger questioned staff on their recommendation.

Ms. Fenske replied that the Town staff has reviewed the application and recommends the approval of the variance as submitted.

A motion was made by Commissioner Badger, seconded by Commissioner Kelly, to relief from the number of parking spaces required for 2035 S Dupont Hwy, Dupont Hwy, 7 Howell St, 16 Asbury Ave, parcels 7-00-085.20-01-30.00-000, 31.00, 32.00, 33.00. All in favor, motion carries.

ADJOURNMENT

At 6:56 a motion was made by Commissioner Badger, seconded by Commissioner Kelly to adjourn the meeting. All in favor; none opposed.

*Respectfully submitted,
Jamie Fenske, Town Clerk*

From: [Kathleen Andrews](#)
To: [Jonathan N. Street](#)
Cc: [Sarah Cahall](#)
Subject: Re: CWSWA Application
Date: Monday, March 2, 2020 3:04:55 PM

Good afternoon Jonathan,

The Superintendent has reviewed the water utility plans for Dollar General to be located on S Dupont Hwy.

The plans dated 10/23/201 / Project No. 2019207.00 are approved as submitted.

Please refer to the additional information emailed on 2/7/20 regarding checklists and pre-construction meeting requirements prior to commencement of the project.

Do not hesitate to contact me if you have any questions or concerns,

Thank you,

<----->

Kathleen Andrews

CAMDEN-WYOMING SEWER
& WATER AUTHORITY

PO Box 405
16 S. West St
Camden, DE 19934
[302-697-6372](tel:302-697-6372)
[302-697-2735](tel:302-697-2735) (fax)

visit: www.cswa.com

email: kathy@cswa.com

On Fri, Feb 7, 2020 at 3:26 PM Jonathan N. Street <jstreet@beckermorgan.com> wrote:

I have the originals coming back to me via mail. Ill make a copy when I get them and send the originals to you.

Thanks for checking, I think the copy I had with Ben's signature got mixed in with the submission.

Regards

JNHS

From: Kathleen Andrews <kathy@cswa.com>
Sent: Friday, February 7, 2020 3:18 PM
To: Jonathan N. Street <jstreet@beckermorgan.com>
Subject: Re: CWSWA Application

As I was scanning the application, I found that I have the first page with an original

signature on it (Ben Syput). Did you need this back?

<----->

Kathleen Andrews

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& WATER AUTHORITY**

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visit: www.cwswa.com

email: kathy@cwswa.com

On Fri, Feb 7, 2020 at 2:33 PM Jonathan N. Street <jstreet@beckermorgan.com> wrote:

Thanks Kathleen,

Great to meet you today. Ill get these taken care of and get you plans Monday. I only have two copies signed...will get the third on Monday morning and include the one detail we were missing.

Thanks again.

Regards

Jonathan N. H. Street

Civil Designer

BECKER MORGAN GROUP, INC.

Delaware | Maryland | North Carolina

302.734.7950x218 o

jstreet@beckermorgan.com

www.beckermorgan.com

[Facebook](#) | [LinkedIn](#) | [Instagram](#)

From: Kathleen Andrews <kathy@cswa.com>
Sent: Friday, February 7, 2020 2:21 PM
To: Jonathan N. Street <jstreet@beckermorgan.com>
Subject: Re: CWSWA Application

Afternoon Jonathan,

I've attached our details.

Also, when submitting plans for review, please send in 3 sets.

Thanks again and have a great weekend.

<https://drive.google.com/drive/folders/1I3IfDksLepyNvyMpeHNCXAIJIMuMrIHJ?usp=sharing>

Please let me know if the link doesn't work.

I've also attached additional forms/checklists that will need to be reviewed, filled out by the group who will be heading up the job; when scheduling pre-con as construction draws near.

<----->

Kathleen Andrews

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& WATER AUTHORITY**
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visit: www.cswa.com
email: kathy@cswa.com

On Thu, Feb 6, 2020 at 12:38 PM Jonathan N. Street <jstreet@beckermorgan.com> wrote:

Ok great thanks.

Get [Outlook for Android](#)

From: Kathleen Andrews <kathy@cswa.com>
Sent: Thursday, February 6, 2020 12:27:48 PM
To: Jonathan N. Street <jstreet@beckermorgan.com>
Subject: Re: CWSWA Application

If you want to use this print as the submittal with appl/fee yes, it would need to be signed/sealed.

<----->

Kathleen Andrews

CAMDEN-WYOMING SEWER
& WATER AUTHORITY
PO Box 405
16 S. West St
Camden, DE 19934
[302-697-6372](tel:302-697-6372)
[302-697-2735](tel:302-697-2735) (fax)
visit: www.cswa.com
email: kathy@cswa.com

On Thu, Feb 6, 2020 at 11:26 AM Jonathan N. Street <jstreet@beckermorgan.com> wrote:

But if we want to submit for review, they have to be signed and sealed correct?

See you tomorrow at 9

From: Kathleen Andrews <kathy@cswa.com>
Sent: Thursday, February 6, 2020 10:11 AM
To: Jonathan N. Street <jstreet@beckermorgan.com>
Subject: Re: CWSWA Application

Good morning Jonathan.

Let's set this up for Friday, Feb 7 @ 9:00 am.

No need to sign, seal at this point. In case after speaking with Mr. Scott it is found that something needs to be adjusted before submitting for review.

<----->

Kathleen Andrews

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& WATER AUTHORITY**

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email: kathy@cswa.com

On Wed, Feb 5, 2020 at 4:22 PM Jonathan N. Street <jstreet@beckermorgan.com> wrote:

Good morning Kathleen,

We are all set on our side and would like to come in to sit down with Mr. Scott to discuss the overall project and path forward. Is he available either Thursday afternoon or Friday? And do the plans need to be signed and sealed on the initial submission. Thanks

Regards

Jonathan N. H. Street

Civil Designer

BECKER MORGAN GROUP, INC.

Delaware | Maryland | North Carolina

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jstreet@beckermorgan.com

www.beckermorgan.com

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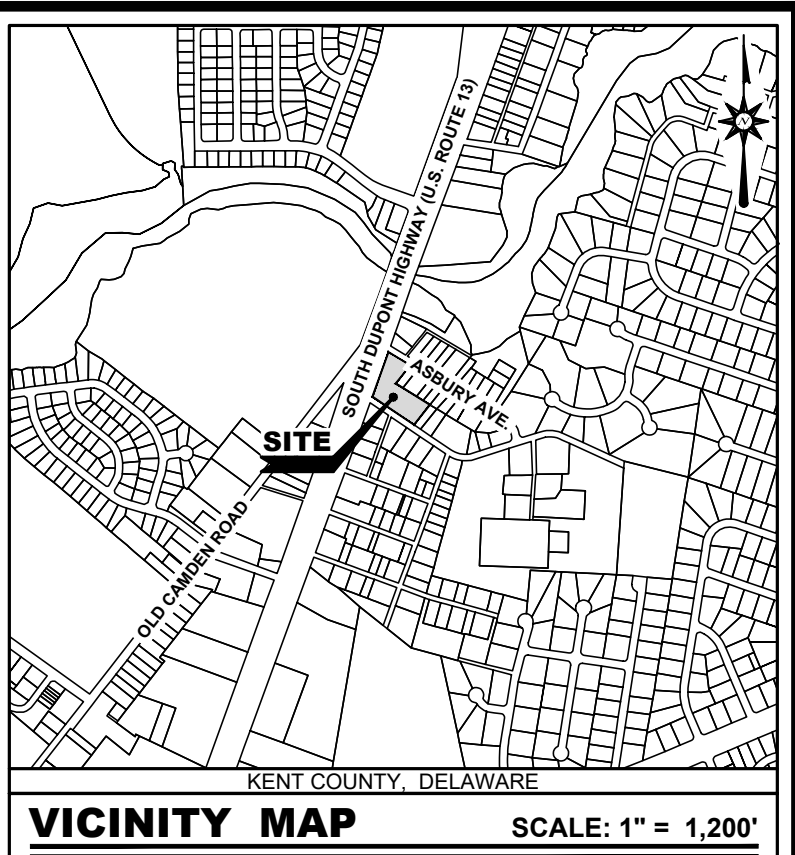
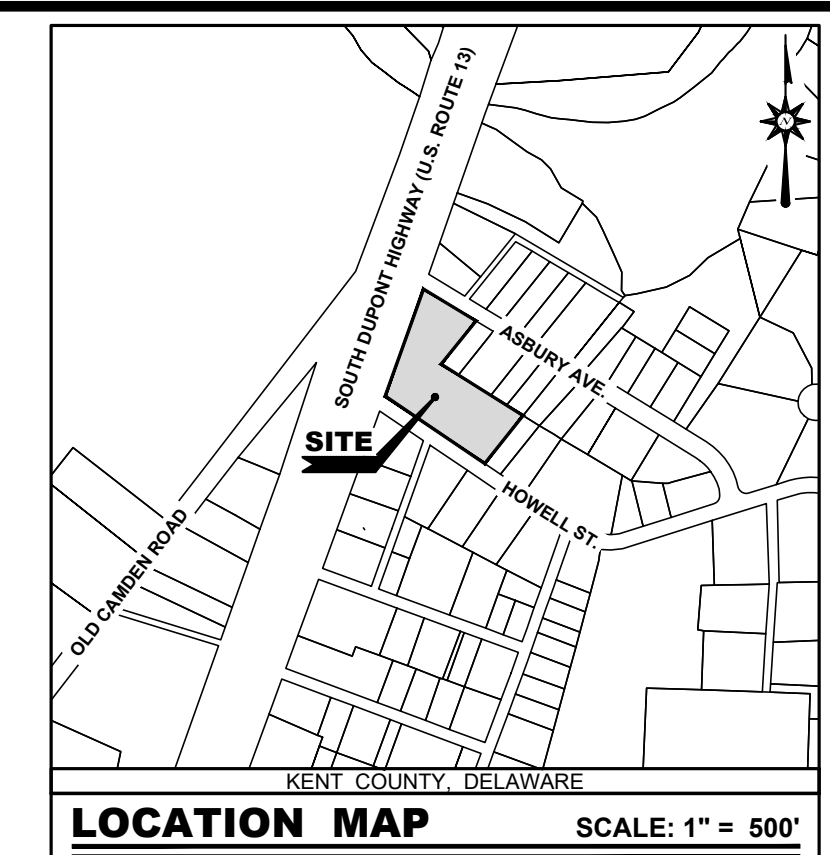
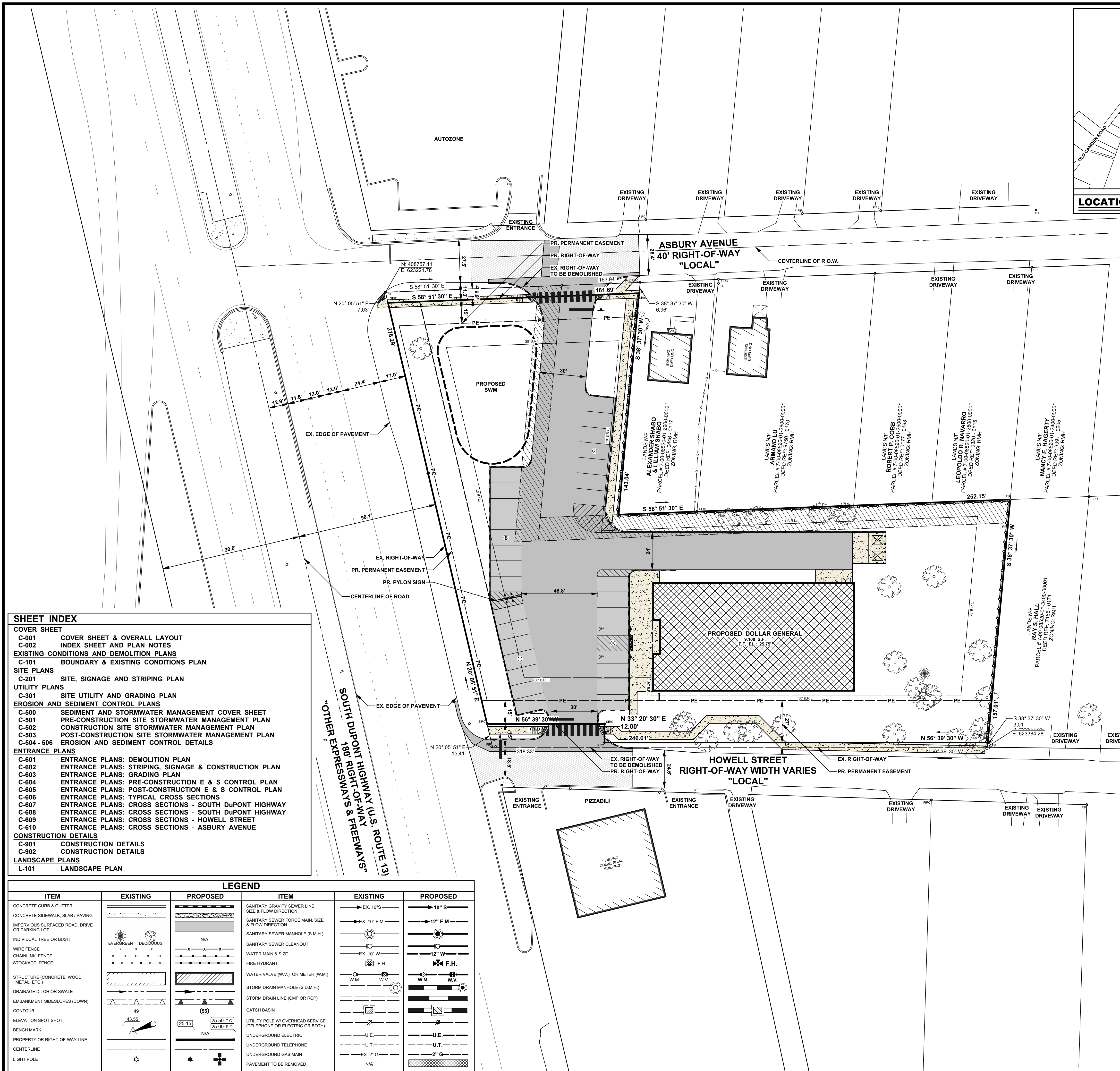
From: Kathleen Andrews <kathy@cswa.com>
Sent: Monday, January 27, 2020 3:23 PM
To: Jonathan N. Street <jstreet@beckermorgan.com>
Subject: CWSWA Application

Attached application

<----->

Kathleen Andrews

CAMDEN-WYOMING SEWER
& WATER AUTHORITY
PO Box 405
16 S. West St
Camden, DE 19934
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email: kathy@cswa.com



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C-607 ENTRANCE PLANS: CROSS SECTIONS - SOUTH DUPONT HIGHWAY

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LANDSCAPE PLANS

L-101 LANDSCAPE PLAN

LEGEND

ITEM	EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED
CONCRETE CURB & GUTTER	[Symbol]	[Symbol]	SANITARY GRAVITY SEWER LINE, SIZE & FLOW DIRECTION	[Symbol]	[Symbol]
CONCRETE SIDEWALK, SLAB / PAVING	[Symbol]	[Symbol]	SANITARY SEWER FORCE MAIN, SIZE & FLOW DIRECTION	[Symbol]	[Symbol]
PERVIOUS SURFACED ROAD, DRIVE OR PARKING LOT	[Symbol]	[Symbol]	SANITARY SEWER MANHOLE (S.M.H.)	[Symbol]	[Symbol]
INDIVIDUAL TREE OR BUSH	[Symbol]	[Symbol]	SANITARY SEWER CLEANOUT	[Symbol]	[Symbol]
WIRE FENCE	[Symbol]	[Symbol]	WATER MAIN & SIZE	[Symbol]	[Symbol]
CHARLINK FENCE	[Symbol]	[Symbol]	FIRE HYDRANT	[Symbol]	[Symbol]
STOCKADE FENCE	[Symbol]	[Symbol]	WATER VALVE (W.V.) OR METER (W.M.)	[Symbol]	[Symbol]
STRUCTURE (CONCRETE, WOOD, METAL, ETC.)	[Symbol]	[Symbol]	STORM DRAIN MANHOLE (S.D.M.H.)	[Symbol]	[Symbol]
DRAINAGE DITCH OR SWALE	[Symbol]	[Symbol]	STORM DRAIN LINE (CMP OR RCP)	[Symbol]	[Symbol]
EMBANKMENT SIDESLOPES (DOWN)	[Symbol]	[Symbol]	CATCH BASIN	[Symbol]	[Symbol]
CONTOUR	[Symbol]	[Symbol]	UTILITY POLE W/ OVERHEAD SERVICE (TELEPHONE OR ELECTRIC OR BOTH)	[Symbol]	[Symbol]
ELEVATION SPOT SHOT	[Symbol]	[Symbol]	UNDERGROUND ELECTRIC	[Symbol]	[Symbol]
BENCH MARK	[Symbol]	[Symbol]	UNDERGROUND TELEPHONE	[Symbol]	[Symbol]
PROPERTY OR RIGHT-OF-WAY LINE	[Symbol]	[Symbol]	UNDERGROUND GAS MAIN	[Symbol]	[Symbol]
CENTERLINE	[Symbol]	[Symbol]	PAVEMENT TO BE REMOVED	[Symbol]	[Symbol]
LIGHT POLE	[Symbol]	[Symbol]			

SITE DATA

- OWNERS OF RECORD: VIOLA FEDERICA ROBERTS, TRUSTEE; FEDERICA ROBERTS; 696 OAKDALE AVENUE; ST. PAUL, MN 55107
- PROPERTY ADDRESSES: 16 ASBURY AVE S. DUPONT HWY 2035 S. DUPONT HWY 7 HOWELL ST DOVER, DE 19901 DOVER, DE 19901 DOVER, DE 19901
- ENGINEER / SURVEYOR: BECKER MORGAN GROUP INC. 309 SOUTH GOVERNORS AVE. DOVER, DELAWARE 19904 302-734-7950
- PROPERTY MAP NUMBER: 7-00-08520-01-3000-00001, 7-00-08520-01-3100-00001, 7-00-08520-01-3200-00001 & 7-00-08520-01-3300-00001
- DEED REF. SUMMARY: 7195 0169, T 0024 0136, 7195 0181 & 7195 0172
- SITE AREA: PARCEL 30 16,510 SQ. FT. ±; PARCEL 31 9,538 SQ. FT. ±; PARCEL 32 5,279 SQ. FT. ±; PARCEL 33 41,720 SQ. FT. ±; **TOTAL: 73,044 SQ. FT. ± 1.6769 AC.**
- EXISTING ZONING: PARCELS 31 & 32 - BG - GENERAL BUSINESS; PARCEL 30 & 33 - BG / RMH - RESIDENTIAL MANUFACTURED HOUSING
- PROPOSED ZONING: C-2 - HIGHWAY COMMERCIAL DISTRICT (TOWN OF CAMDEN)
- PRESENT USE: COMMERCIAL/RESIDENTIAL PROPERTY
- PROPOSED USE: COMMERCIAL RETAIL
- PROPOSED BUILDING: 9,100 S.F.
- BULK STANDARDS: C-2 (COMMERCIAL HIGHWAY DISTRICT); CORNER YARD: 30 FEET; FRONT YARD: 40 FEET; SIDE YARD: 10 FEET; INTERIOR YARD: 15 FEET; REAR YARD: 20 FEET; MAX HEIGHT: 45 FEET / 70 FEET (3-1/2 STORIES / 6 STORIES); MAX COVERAGE: 80%; MIN LOT SIZE: 9,000 S.F.; MIN FRONTAGE: 60 FEET; * LODGING AND / OR HOTELS ONLY.
- PARKING CALCULATIONS: COMMERCIAL RETAIL: 1 SPACE / 200 SF FLOOR SPACE + 1 SPACE / EMPLOYEES REQUIRED: 9,100 SF / 200 = 46 + 4 (EMPLOYEES) = 50 SPACES PROVIDED: 30; HANDICAP PARKING SPACES: 2; LOADING BERTHS: 1 PER 10,000 SF FLOOR SPACE = 1 LOADING BERTH
- IMPERVIOUS COVERAGE: EXISTING: 21,517 S.F. (0.49 ACRES); PROPOSED: 33,541 S.F. (0.77 ACRES)
- ROAD CLASSIFICATION: SOUTH DUPONT HWY - OTHER PRINCIPAL ARTERIAL - 50 M.P.H. (KCR 24); ASBURY AVENUE - LOCAL ROAD - 25 M.P.H. (KCR 201840); HOWELL STREET - LOCAL ROAD - 25 M.P.H. (KCR 202290)
- SURVEY DATUM: NGS MONUMENTS; VERTICAL: NAVD 88 - B35; HORIZONTAL: NAD 83 (2011) - CORS
- MONUMENTATION: 13 FOUND; 0 SET
- SURVEY CLASSIFICATION: SUBURBAN SURVEY
- SURVEY UNIT: LINEAR: US SURVEY FOOT; ANGULAR: DEGREES MINUTES SECONDS (DMS); COORDINATE TYPE: GROUND
- UTILITIES: SEWER: KENT COUNTY; WATER: TOWN OF CAMDEN; GAS: CHESAPEAKE UTILITIES; ELECTRIC: DELMARVA POWER
- TOTAL DISTURBED AREA: 1.84 ACRES
- INVESTMENT LEVEL: LEVEL 1
- TRANSPORTATION IMPROVEMENT DISTRICT: NOT WITHIN A TRANSPORTATION IMPROVEMENT DISTRICT
- BUILDING HEIGHT: PERMITTED: 45' OR 70' (3-1/2 OR 6 STORIES); PROPOSED: 18' *LODGING AND/OR HOTELS ONLY. PROPERTY OWNER WILL BE REQUIRED TO SUBMIT A SITE PLAN FOR STORES AND/OR HEIGHT OVER 45.
- LOCAL LAND USE APPROVAL: TOWN OF CAMDEN

GENERAL NOTES :

- THE BOUNDARY & TOPOGRAPHIC DATA SHOWN HEREON WAS COMPILED FROM A FIELD SURVEY PERFORMED BY BECKER MORGAN GROUP, INC. DOVER, DE. IN SEPTEMBER 2019. PROJECT VERTICAL DATUM IS BASED ON NAVD 88 AND PROJECT HORIZONTAL DATUM IS BASED ON DELAWARE STATE PLANE (NAD83), GPS DERIVED FROM N.G.S. CONTROL MONUMENTS.
- THE BOUNDARY LINES PORTRAYED HEREON HAVE BEEN ESTABLISHED BASED SOLELY ON PHYSICAL EVIDENCE DISCOVERED IN THE FIELD IN CONJUNCTION WITH DETERMINATIONS DERIVED FROM SOURCE OF TITLE AND ADJACENT DEED RECORD INFORMATION.
- ALL UTILITY LOCATIONS AND SIZES SHOWN HEREON ARE EITHER MARKED LOCATIONS IN THE FIELD, VISIBLE AND FIELD LOCATED STRUCTURES OR TAKEN FROM UTILITY MAPS PROVIDED BY UTILITY PROVIDERS. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.
- PARCEL IS NOT LOCATED WITHIN THE ONE HUNDRED YEAR FLOOD PLAIN ZONE, BASED ON FIRM MAP 10001C0231H, EFFECTIVE DATE 5/5/2003.
- NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING, BUILDING CONSTRUCTION OR BUILDING ADDITION WHEN FIELD SURVEY WAS COMPLETED IN SEPTEMBER 2019.
- NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY, SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL WHEN FIELD SURVEY WAS COMPLETED IN SEPTEMBER 2019.
- NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. NO EVIDENCE FOUND TO INDICATE ANY MODIFICATION TO EXISTING STREET RIGHT OF WAYS WHEN FIELD SURVEY WAS COMPLETED IN SEPTEMBER 2019.
- NO OBSERVED WETLAND DELINEATION ON SITE WHEN FIELD SURVEY WAS COMPLETED IN SEPTEMBER 2019.
- ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE STATE FIRE PREVENTION REGULATIONS.
- THE BUILDING WILL NOT BE PROTECTED BY AUTOMATIC SPRINKLERS.

OWNERS CERTIFICATION

WE, PTV 1099 LLC, HEREBY CERTIFY THAT WE ARE THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT OUR DIRECTION, AND THAT WE ACKNOWLEDGE THE SAME TO BE OUR ACT AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS AND REGULATIONS.

BEN SPYUT, AUTHORIZED REPRESENTATIVE OF PTV 1099 _____ DATE _____

ENGINEERS CERTIFICATION

I, J. MICHAEL RIEMANN, HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

J. MICHAEL RIEMANN _____ P.E. NO. 13772 _____ DATE _____

BECKER MORGAN GROUP

ARCHITECTURE
ENGINEERING

Dover, DE
309 S. Governors Ave.
Dover, DE 19904
Ph. 302.734.7950
Fax 302.734.7965

Salisbury, MD
312 West Main St. Suite 300
Salisbury, MD 21801
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Fax 410.546.5824

Wilmington, NC
3333 Jaeckle Drive, Suite 120
Wilmington, North Carolina 28403
Ph. 910.341.7600
Fax 910.341.7506

www.beckermorgan.com

PROJECT TITLE

DOLLAR GENERAL CAMDEN

2035 SOUTH DUPONT HIGHWAY
TOWN OF CAMDEN
KENT COUNTY, DELAWARE

SHEET TITLE

COVER SHEET AND OVERALL SITE PLAN

0 15 30 60
SCALE: 1" = 30'

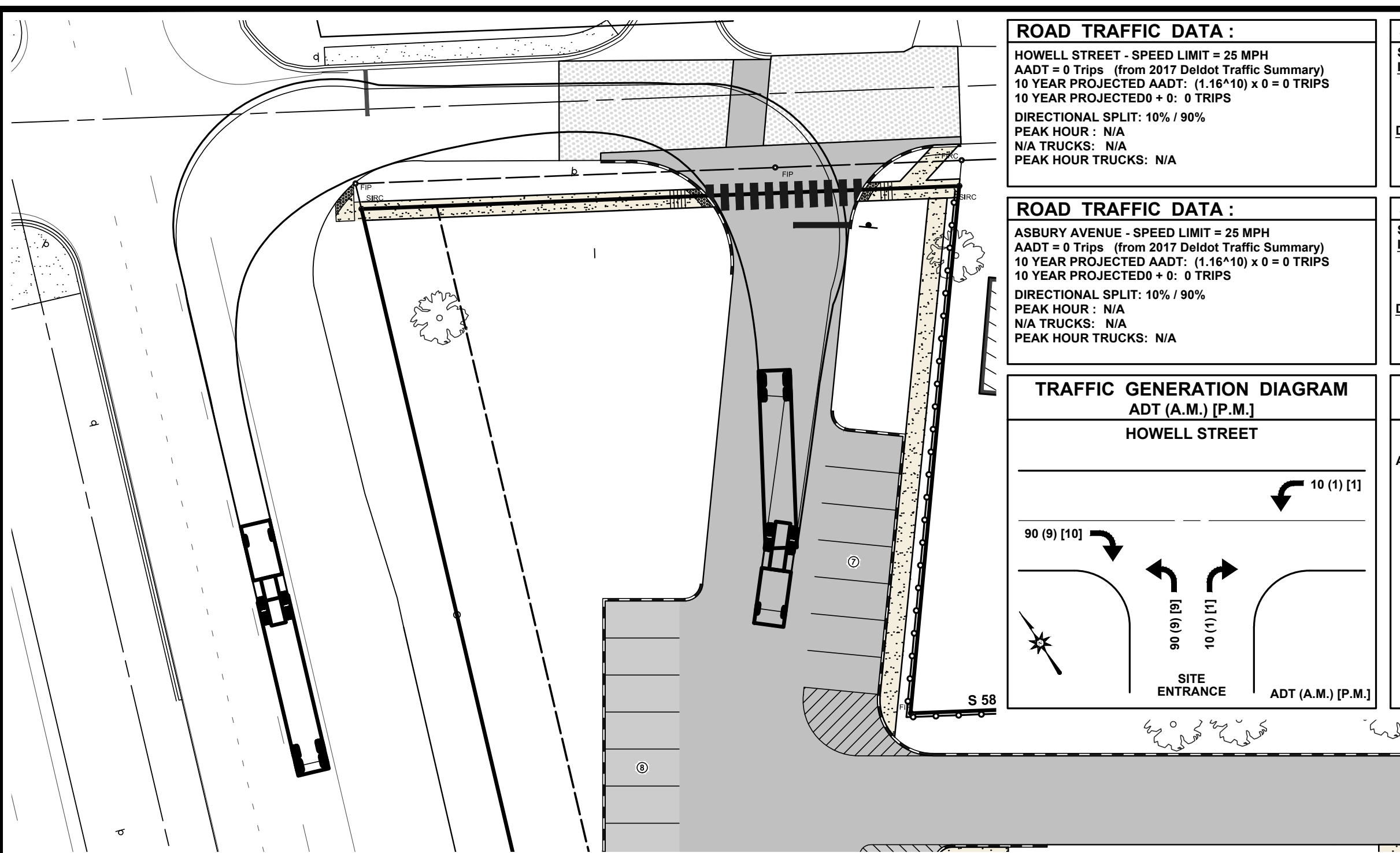
ISSUE BLOCK

NO.	DATE	DESCRIPTION
3.	5/4/20	REVISED PER KCD COMMENTS DATED 4/15/20
2.	4/30/20	REVISED PER DELDOT COMMENTS DATED 4/3/20
1.	3/6/20	REVISED PER KENT COUNTY PUBLIC WORK COMMENTS DATED 3/4/20

MARK DATE DESCRIPTION
LAYER/STATE: C-001

PROJECT NO.: 2019207.00
DATE: 10/23/2019
SCALE: 1" = 30'
DRAWN BY: J.D.K. / **PROJ. MGR.:** J.N.S.

SHEET
C-001
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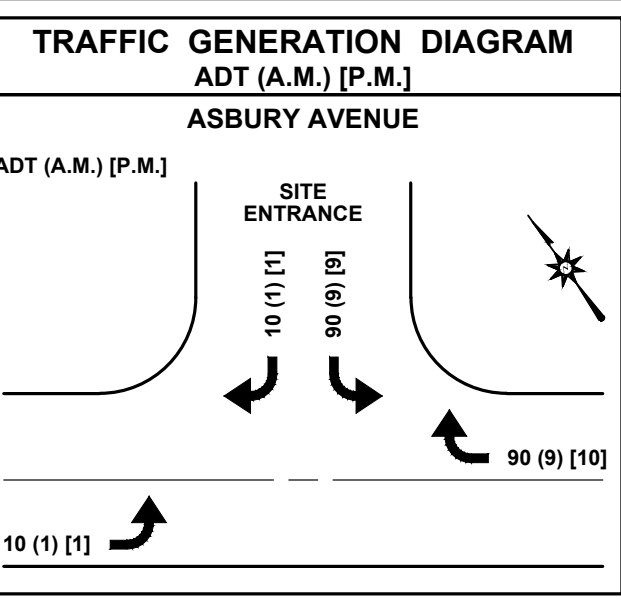
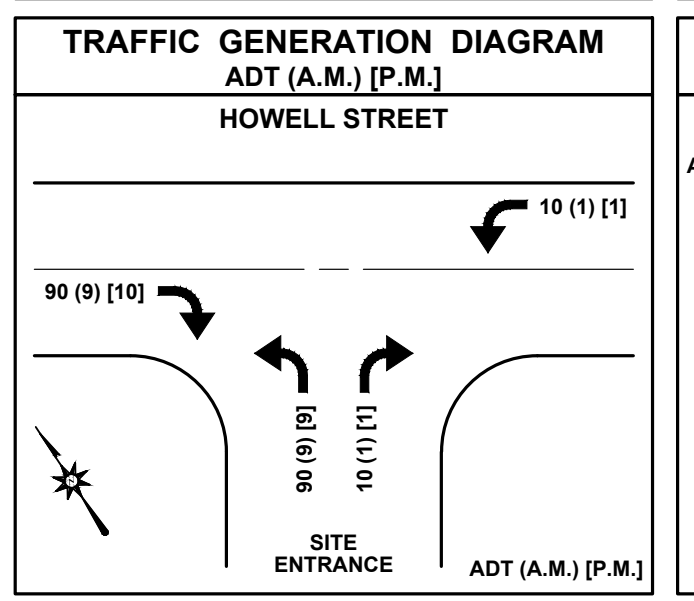
RIGHT IN (FULL ACCESS ENTRANCE) - WB-62 DESIGN VEHICLE
ASBURY AVENUE - "LOCAL ROAD"

ROAD TRAFFIC DATA:
HOWELL STREET - SPEED LIMIT = 25 MPH
AADT = 0 Trips (from 2017 DelDOT Traffic Summary)
10 YEAR PROJECTED AADT: (1,16*10) x 0 = 0 TRIPS
10 YEAR PROJECTED $\frac{A}{V} \times 0 = 0$ TRIPS
DIRECTIONAL SPLIT: 10% / 90%
PEAK HOUR: N/A
N/A TRUCKS: N/A
PEAK HOUR TRUCKS: N/A

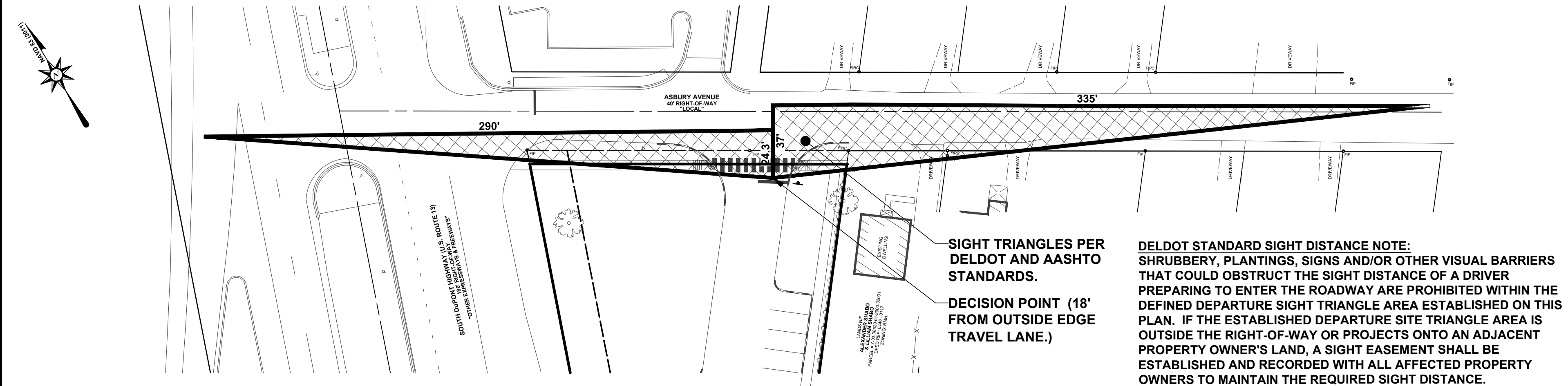
SITE TRIPS GENERATED:
SOURCE: ITE TRIP GENERATION MANUAL (10TH EDITION)
ITE: 814 VARIETY STORE
TOTAL SITE ADT = 200 TRIPS (PER DELDOT)
A.M. PEAK HR. TRIPS = 20 (50% IN / 50% OUT)
P.M. PEAK HR. TRIPS = 21 (DELDOT) (50% IN / 50% OUT)
DIRECTIONAL DISTRIBUTION:
10% TO & FROM EAST (20 TRIPS) (2 a.m. pk.) (2 p.m. pk.)
90% TO & FROM WEST (180 TRIPS) (18 a.m. pk.) (19 p.m. pk.)

ROAD TRAFFIC DATA:
ASBURY AVENUE - SPEED LIMIT = 25 MPH
AADT = 0 Trips (from 2017 DelDOT Traffic Summary)
10 YEAR PROJECTED AADT: (1,16*10) x 0 = 0 TRIPS
10 YEAR PROJECTED $\frac{A}{V} \times 0 = 0$ TRIPS
DIRECTIONAL SPLIT: 10% / 90%
PEAK HOUR: N/A
N/A TRUCKS: N/A
PEAK HOUR TRUCKS: N/A

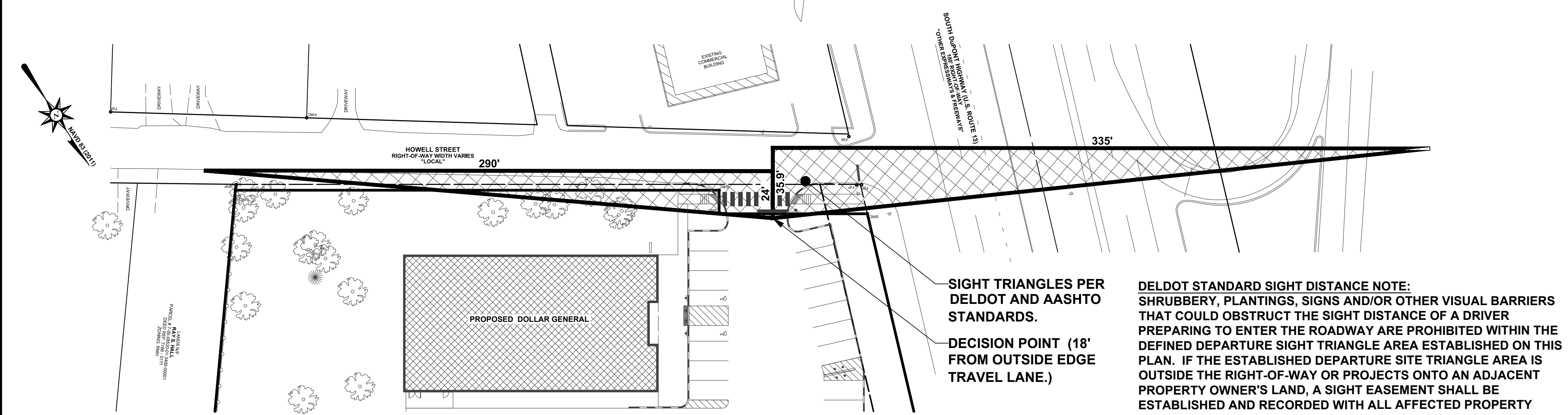
SITE TRIPS GENERATED:
SOURCE: ITE TRIP GENERATION MANUAL (10TH EDITION)
ITE: 814 VARIETY STORE
TOTAL SITE ADT = 199 TRIPS (PER DELDOT)
A.M. PEAK HR. TRIPS = 20 (50% IN / 50% OUT)
P.M. PEAK HR. TRIPS = 21 (DELDOT) (50% IN / 50% OUT)
DIRECTIONAL DISTRIBUTION:
10% TO & FROM EAST (20 TRIPS) (2 a.m. pk.) (2 p.m. pk.)
90% TO & FROM WEST (179 TRIPS) (18 a.m. pk.) (19 p.m. pk.)



	12:00 AM	1:00 AM	2:00 AM	3:00 AM	4:00 AM	5:00 AM	6:00 AM	7:00 AM	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM	11:00 PM
SUNDAY																								
MONDAY																								
TUESDAY																								
WEDNESDAY																								
THURSDAY																								
FRIDAY																								
SATURDAY																								



CAMDEN DOLLAR GENERAL - ASBURY AVENUE SIGHT TRIANGLE



CAMDEN DOLLAR GENERAL - HOWELL STREET SIGHT TRIANGLE

DELDOT GENERAL NOTES: DELDOT ISSUED 8/21/19

- ALL ENTRANCES SHALL CONFORM TO THE DELAWARE DEPARTMENT OF TRANSPORTATION'S (DELDOT'S) CURRENT DEVELOPMENT COORDINATION MANUAL AND SHALL BE SUBJECT TO ITS APPROVAL.
- ALL MATERIALS AND WORKMANSHIP WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SUPPLEMENTAL SPECIFICATIONS, STANDARD CONSTRUCTION DETAILS, SPECIAL PROVISIONS AND DESIGN GUIDANCE MEMORANDUMS.
- ALL DISTURBED AREAS WITHIN THE STATE RIGHT-OF-WAY, BUT NOT IN THE PAVEMENT, SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. (F SOD IS USED NEXT TO SIDEWALK OR SHARED-USE PATH, CONTRACTOR SHALL GRADE TOPSOIL ADJACENT TO THE SIDEWALK OR SHARED-USE PATH PRIOR TO PLACEMENT OF SOD TO ENSURE THAT SOD IS PLACED FLUSH OR JUST BELOW EDGE OF SIDEWALK OR SHARED-USE PATH TO AVOID WATER PONDING ON THE SIDEWALK OR SHARED-USE PATH.)
- A 72-HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DELDOT DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ENTRANCE CONSTRUCTION.
- MISS UTILITY OF DELAWARE SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- THE DEVELOPER SHALL BE REQUIRED TO FURNISH AND PLACE RIGHT-OF-WAY MONUMENTS IN ACCORDANCE WITH DELDOT'S DEVELOPMENT COORDINATION MANUAL.
- AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR, ANY DAMAGED OR MISSING CURB OR SIDEWALK FOUND ON SITE WILL NEED TO BE REPAIRED OR REPLACED TO MEET CURRENT DELDOT STANDARDS.
- ALL SIGNING, STRIPING AND MAINTENANCE OF TRAFFIC IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL FOLLOW THE GUIDELINES SHOWN IN THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (DELAWARE MUTCD) FOR STREETS AND HIGHWAYS LATEST EDITION AT THE DATE OF THE ENTRANCE PERMIT APPROVAL. THE DEVELOPER OR PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL SIGNS INSTALLED AS PART OF THIS PROJECT.
- PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE DELDOT INSPECTOR.
- A COPY OF THE UP-TO-DATE APPROVED CONSTRUCTION DOCUMENTS AND DELDOT APPROVAL LETTERS SHALL BE MAINTAINED ON THE PROJECT SITE AT ALL TIMES AND BE AVAILABLE FOR INSPECTION BY DELDOT PERSONNEL.
- EXISTING UTILITIES ARE SHOWN IN ACCORDANCE WITH THE BEST AVAILABLE INFORMATION. COMPLETENESS OR CORRECTNESS THEREOF IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES INVOLVED IN ORDER TO SECURE THE MOST ACCURATE INFORMATION AVAILABLE AS TO UTILITY LOCATION AND ELEVATION. NO CONSTRUCTION AROUND OR ADJACENT TO UTILITIES SHALL BEGIN WITHOUT NOTIFYING THEIR OWNERS AT LEAST 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE AND ANY DAMAGE DONE TO THEM DUE TO HIS/HER NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE. TO LOCATE EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISS UTILITY OF DELAWARE (SEE NOTE #5).
- SHOULD UTILITY RELOCATION BE REQUIRED, THE DEVELOPER MUST SUBMIT A UTILITY RELOCATION PLAN FOR DELDOT REVIEW, ALONG WITH CORRESPONDING FROM THE UTILITY COMPANIES STATING PRELIMINARY APPROVAL TO THE RELOCATION AND DESIGN OF THE UTILITIES PRIOR TO THE DELDOT PRE-CONSTRUCTION MEETING. NO PHYSICAL CONSTRUCTION CAN OCCUR UNTIL THE UTILITY PLANS ARE APPROVED, THE INDIVIDUAL UTILITY COMPANIES ISSUE FINAL APPROVAL, AND A DELDOT UTILITY PERMIT IS ISSUED TO THE UTILITY COMPANY.
- UPON COMPLETION OF THE CONSTRUCTION OF THE SIDEWALK OR SHARED-USE PATH ACROSS THIS PROJECT'S FRONTAGE AND PHYSICAL CONNECTION TO EXISTING FACILITIES, THE DEVELOPER, THE PROPER AGENCIES OR BOTH ASSOCIATED WITH THIS PROJECT, SHALL BE RESPONSIBLE TO REMOVE ANY EXISTING ROAD TIE-IN CONNECTIONS LOCATED ALONG ADJACENT PROPERTIES, AND RESTORE THE AREA TO GRASS. THESE DISTURBED AREAS SHALL BE TOP-SOILED (6" MINIMUM), FERTILIZED, SEEDED AND MULCHED. SUCH ACTIONS SHALL BE COMPLETED AT DELDOT'S DISCRETION, AND IN CONFORMANCE WITH THE DEVELOPMENT COORDINATION MANUAL.
- DELDOT WILL NOT PROVIDE THE RESPECTIVE LOCAL LAND USE AGENCY WITH A NO OBJECTION TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY NOTICE UNTIL THE ENTRANCE(S) ARE COMPLETED TO THE SATISFACTION OF THE DEPARTMENT.
- DESIGN, FABRICATION AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD.
- DESIGN AND INSTALLATION OF ALL PAVEMENT MARKINGS AND STRIPING SHALL BE AS OUTLINED IN THE LATEST VERSION OF THE DELAWARE MUTCD. FOR FINAL PERMANENT PAVEMENT MARKINGS:
 - THERMO PLASTIC (EXTRUDED OR PREFORMED MATERIAL) WILL BE REQUIRED ON ASPHALT SURFACES, FOR SHORT LINE STRIPING, I.E. SYMBOLS/LEGENDS.
 - REMOVAL OF PAVEMENT MARKING PAINT OR TAPE SHALL COMPLY WITH SECTION 5.11.2 OF THE DEVELOPMENT COORDINATION MANUAL.
 - BREAKAWAY POSTS SHALL BE USED WHEN INSTALLING ALL SIGNS. REFERENCE DELDOT'S STANDARD CONSTRUCTION DETAILS, SECTION VIII - TRAFFIC, T-15.
- SUBDIVISION STREETS CONSTRUCTED WITHIN THE LIMITS OF THE RIGHT-OF-WAY DEDICATED TO PUBLIC USE SHOWN ON THIS PLAN ARE TO BE MAINTAINED BY THE RIGHT-OF-WAY PRIOR TO INSTALLATION. IF ANY PLANTINGS ARE PLANTED WITHOUT DELDOT'S KNOWLEDGE OR APPROVAL, THE STATE ACCEPTS NO MAINTENANCE RESPONSIBILITY WITHIN THE DEDICATED STREET RIGHT-OF-WAY UNTIL THE STREETS HAVE BEEN ACCEPTED BY THE STATE.
- INCLUDE ALL THAT APPLY:
 - THE ENDS OF ALL CURBS SHALL BE TRANSITIONED TO BE FLUSH WITH THE PAVEMENT AT A RATIO OF TWELVE TO ONE (12:1).
 - ALL FIXED OBJECTS ARE TO BE A MINIMUM OF 10-FEET FROM THE EDGE OF TRAVEL LANE AND 5-FEET FROM THE EDGE OF PAVEMENT. REFERENCE SECTION 5.5.5 OF THE DEVELOPMENT COORDINATION MANUAL. ANY FIXED OBJECT THAT DOES NOT MEET THIS REQUIREMENT SHALL BE RELOCATED.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL PAVING WITHIN THE STATE OF DELAWARE RIGHT-OF-WAY IS INSTALLED TO THE ELEVATIONS SHOWN AND NO PONDING OF WATER EXISTS AFTER PAVING IS COMPLETE.
 - ALL STORM DRAIN PIPING DESIGNATED AS REINFORCED CONCRETE PIPE IS TO BE REINFORCED CONCRETE PIPE, MEETING AASHTO M-170 SPECIFICATIONS. SEE PLANS FOR SPECIFIC CLASS OF PIPE.
 - ALL PROPOSED CLOSED STORMDRAIN SYSTEMS SHALL BE VIDEO INSPECTED, REPAIRED AS NECESSARY AND APPROVED PRIOR TO THE INSTALLATION OF FINAL PAVING. IF REPAIRS ARE NEEDED, THE REPAIRED PIPE SECTIONS WILL NEED TO BE VIDEO INSPECTED AGAIN BEFORE THE REPAIR CAN BE APPROVED.
 - THE DEVELOPER AND EXISTING/FUTURE OWNER OF NON-STATE-MAINTAINED ROADWAYS SHALL ENSURE THAT THE TRAFFIC CONTROL DEVICES ON SAID ROADWAYS OPEN TO PUBLIC TRAVEL ARE IN COMPLIANCE WITH THE LATEST VERSION OF THE DELAWARE MUTCD.
 - ALL SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM STANDARD T-99 DRY DENSITY.
 - THE CONTRACTOR SHALL NOTIFY DART FIRST STATE AT DOT_DETOURS@DELAWARE.GOV AT LEAST 14 DAYS PRIOR TO THE START OF ANY DETOURS OR CONSTRUCTION, AND DOT_DETOURS@DELAWARE.GOV AT SUCH TIME THE FACILITY IS COMPLETED AND OPERABLE FOR TRANSIT OPERATIONS. FOR EMERGENCY DETOUR INFORMATION ONLY PLEASE CONTACT DOT'S CHIEF SCHEDULER AT 302-576-6019.
 - FOR INFORMATION ON OBTAINING A UTILITY PERMIT IN KENT COUNTY CONTACT M&O-CENTRAL DISTRICT-PUBLIC WORKS AT (302) 760-2424.
 - FOR INFORMATION ON GETTING APPROVAL FOR PROPOSED OUTDOOR ADVERTISING IN KENT COUNTY CONTACT M&O-CENTRAL DISTRICT-PUBLIC WORKS AT (302) 760-2424.
 - MAINTENANCE OF ALL LANDSCAPING SHOWN ON THIS PLAN WILL BE THE RESPONSIBILITY OF THE DEVELOPER, THE HOMEOWNERS ASSOCIATION OR BOTH. THE STATE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE LANDSCAPING. DELDOT MUST REVIEW AND APPROVE ANY PLANTING PROPOSED WITHIN THE RIGHT-OF-WAY PRIOR TO INSTALLATION. IF ANY PLANTINGS ARE PLANTED WITHOUT DELDOT'S KNOWLEDGE AND/OR APPROVAL, THEN DELDOT HAS THE RIGHT TO HAVE THE DEVELOPER REMOVE THE PLANTINGS, WITH ALL COSTS BEING PAID FOR BY THE DEVELOPER.

MAINTENANCE OF TRAFFIC GENERAL NOTES DELDOT ISSUED 3/25/19

- ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH: THE CONTRACT DOCUMENTS, THE LATEST VERSION OF THE DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (HEREINAFTER REFERRED TO AS "THE DELAWARE MUTCD"), CURRENT STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND SUPPLEMENTAL SPECIFICATIONS, INCLUDING ALL REVISIONS AS OF THE DATE OF THE ENTRANCE PERMIT APPROVAL.
- CONTRACTOR SHALL SUPPLY MESSAGE BOARDS THAT ARE TO BE PLACED TEN (10) DAYS PRIOR TO CONSTRUCTION AND/OR TRAFFIC PATTERN CHANGES. THE MESSAGE BOARDS MUST REMAIN IN PLACE FIVE (5) DAYS AFTER WORK HAS STARTED AND/OR AFTER TRAFFIC PATTERN CHANGES. THE NUMBER OF MESSAGE BOARDS, LOCATIONS, AND WORDING ON THE MESSAGE BOARDS SHALL BE COORDINATED WITH THE DISTRICT SAFETY OFFICER.
- THE DEPARTMENT RESERVES THE RIGHT TO STOP THE CONTRACTOR'S OPERATIONS, IF, IN THE OPINION OF THE DEPARTMENT'S REPRESENTATIVE, THE CONTRACTOR'S OPERATIONS ARE NOT IN COMPLIANCE WITH THE DELAWARE MUTCD, THE SPECIFICATIONS OR THE PLANS OR IF THE CONTRACTOR'S OPERATIONS ARE DEEMED UNSAFE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE LOCAL 911 CENTER, LOCAL SCHOOLS AND DELDOT COMMUNITY RELATIONS OF ALL ROADS AND LANES TO BE CLOSED A MINIMUM OF SEVEN (7) CALENDAR DAYS BEFORE THE CLOSURE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE TRANSPORTATION MANAGEMENT CENTER IS NOTIFIED EACH AND EVERY DAY WHEN WORK IS BEING PERFORMED IN STATE RIGHT-OF-WAY. THE CONTRACTOR SHALL IDENTIFY THE TYPE OF WORK, ANY LANE(S) OR SHOULDER(S) CLOSED, THE LENGTH OF TIME FOR WORK, WHEN THE LANE RESTRICTIONS ARE IN PLACE AND WHEN LANE RESTRICTIONS ARE LIFTED. CONTACT PERSON/PHONE NUMBER AND STATE INSPECTOR. THE TRANSPORTATION MANAGEMENT CENTER CAN BE REACHED AT (302) 659-4600.
- WHEN SIDE ROADS INTERSECT THE WORK ZONE, ADDITIONAL TRAFFIC CONTROL DEVICES SHALL BE ERECTED INCLUDING PERMANENT WARNING SIGNS.
- ALL STORAGE OF EQUIPMENT AND MATERIAL SHALL COMPLY WITH THE DELAWARE MUTCD, SECTION 66.21.
- ALL PAVEMENT MARKINGS THAT ARE NO LONGER IN USE AND CONFLICT WITH TEMPORARY PAVEMENT MARKINGS SHALL BE REMOVED AND COMPLETELY OBLITERATED BY A METHOD APPROVED BY THE ENGINEER. PAINTING OVER THE CONFLICTING PAVEMENT MARKINGS WILL NOT BE ACCEPTED AS A METHOD OF REMOVAL.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF EXISTING PAVEMENT WITHIN THE PROJECT LIMITS FOR THE DURATION OF THE CONTRACT OR AS DIRECTED BY THE ENGINEER.
- TYPICAL APPLICATIONS PER THE DELAWARE MUTCD SHALL BE INCORPORATED TO ACHIEVE REQUIRED TEMPORARY TRAFFIC CONTROL AND SAFETY REQUIREMENTS. THIS PROJECT IS SUBJECT TO THE FOLLOWING TYPICAL APPLICATIONS UNLESS DIRECTED OTHERWISE BY THE DELDOT DISTRICT SAFETY OFFICER:
 - SOUTH DUPONT HIGHWAY (U.S. ROUTE 13)
 - TA-1 (WORK BEYOND THE SHOULDER > 10 FEET FROM THE EDGE OF THE TRAVELED WAY)
 - TA-3A (WORK ON THE SHOULDER OF A MULTI-LANE, DIVIDED HIGHWAY)
 - HOWELL STREET
 - TA-10 (LANE CLOSURE ON A TWO-LANE ROAD USING FLAGGERS)
 - ASBURY AVENUE
 - TA-10 (LANE CLOSURE ON A TWO-LANE ROAD USING FLAGGERS)
- THE MAINLINE WORK AREA, PERMANENT ADVANCE WARNING SIGNS WITH THE LEGENDS ROAD WORK AHEAD SHALL BE INSTALLED IN ADVANCE OF THE WORK AREA IN BOTH DIRECTIONS. AN END ROAD WORK SIGN SHALL BE LOCATED 500 FEET DOWNSTREAM FROM THE WORK AREA. ON INTERSECTING ROADWAYS WITHIN THE PROJECT LIMITS, A ROAD WORK AHEAD SIGN SHALL BE PLACED AT A DISTANCE NOT LESS THAN 500 FEET IN ADVANCE OF THE WORK AREA. ALL PERMANENT ADVANCE WARNING SIGNS SHALL BE GROUND MOUNTED ON TWO NCHRP-350 OR MASH APPROVED BREAKAWAY POSTS AND SHALL BE MOUNTED IN COMPLIANCE WITH THE DELAWARE MUTCD. PERMANENT ADVANCE WARNING SIGNS SHALL BE MOUNTED AT A HEIGHT OF 7 FEET, MEASURED FROM THE ROADWAY TO THE BOTTOM OF THE SIGN. THE USE OF SKID MOUNTED SIGN SUPPORTS IS NOT ALLOWED UNLESS THE CONTRACTOR CAN DEMONSTRATE THAT A UTILITY CONFLICT EXISTS, WHICH SHALL BE VERIFIED BY THE DISTRICT SAFETY OFFICER. OR CONCRETE MEDIANS PREVENT THE INSTALLATION OF THE PERMANENT ADVANCE WARNING SIGNS IN THE APPROPRIATE LOCATION.
- THE USE OF MILLINGS AND GRADED AGGREGATE BASE COURSE (GABC) IN THE TRAVEL WAY, TEMPORARY TRAVEL WAY, HIGH VOLUME ENTRANCES AND ACCESS RAMP FOR THE PURPOSE OF PROVIDING A TEMPORARY ROADWAY SURFACE, POTHOLE REPAIR, TAPERED EDGE FOR UTILITIES, BUTT JOINTS, AND LONGITUDINAL DROP-OFFS (MILLING AND PAVING OPERATIONS) IS PROHIBITED UNLESS IT IS OTHERWISE DESIGNATED TO BE USED IN THE CONTRACT PLANS. USE COLD PATCH, BITUMINOUS CONCRETE, BITUMINOUS CONCRETE WEDGE, OR TAPER MILL, AS NOTED IN THE CONTRACT DOCUMENTS OR APPROVED BY THE ENGINEER.
- MILLINGS OR GABC SHALL BE USED AT THE FOLLOWING LOCATIONS WHERE ACCESS TO A BUSINESS, RESIDENCE, OR EDGE DROP OFF NEEDS TO BE MAINTAINED UNLESS OTHERWISE NOTED IN THE PLANS OR DIRECTED BY THE ENGINEER TO USE BITUMINOUS CONCRETE OR COLD PATCH. ALL MILLINGS AND GABC WILL BE ROLLED AND COMPACTED TO HELP PREVENT THE MATERIAL FROM UNRAVELLING.
- ENTRANCES
 - DRIVEWAYS
 - LOW VOLUME ACCESS RAMPS (IDENTIFIED IN THE CONTRACT DOCUMENTS)
 - EDGE DROP-OFFS ADJACENT TO LIVE ROADWAY (LANES AND SHOULDER) AND THE PROPOSED ROAD CONSTRUCTION
 - EDGE OF ROADWAY DROP-OFF

THE BASE COURSE MATERIAL SHALL BE PLACED AT NO GREATER THAN THE SLOPE SPECIFIED IN THE DELAWARE MUTCD, TABLE 66-1 AND SHALL BE COMPACTED.

VERTICAL DIFFERENCES SHALL BE CORRECTED IN ACCORDANCE WITH THE DELAWARE MUTCD, TABLE 66-1.
- ACCEPTABLE MATERIALS FOR TEMPORARY PEDESTRIAN PATHS SHALL INCLUDE CONCRETE, HOT-MIX, COMPACTED MILLINGS OR PLYWOOD WALKWAY STRUCTURE. PLYWOOD WALKWAY STRUCTURES SHALL ALSO INCLUDE DETECTABLE EDGING AND RAILINGS IN ACCORDANCE WITH ADA GUIDELINES AND THE DELAWARE MUTCD. STONE OR GRADED AGGREGATE BASE COURSE SHALL NOT BE USED FOR TEMPORARY PEDESTRIAN PATHS.
- THE CONTRACTOR IS TO MAINTAIN A FIVE (5) FOOT MINIMUM BIKE LANE WITHIN THE CLOSED SHOULDER DURING CONSTRUCTION.

BECKER MORGAN GROUP

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PROJECT TITLE

DOLLAR GENERAL CAMDEN

2035 SOUTH DUPONT HIGHWAY
TOWN OF CAMDEN
KENT COUNTY, DELAWARE

SHEET TITLE

INDEX SHEET AND PLAN NOTES

ISSUE	NO.	DATE	DESCRIPTION
	1.	3/6/20	REVISED PER KENT COUNTY PUBLIC WORK COMMENTS DATED 3/6/20
	2.	4/30/20	REVISED PER DELDOT COMMENTS DATED 4/30/20
	3.	5/4/20	REVISED PER KCD COMMENTS DATED 5/15/20

MARK DATE DESCRIPTION
LAYER/STATE CLASS

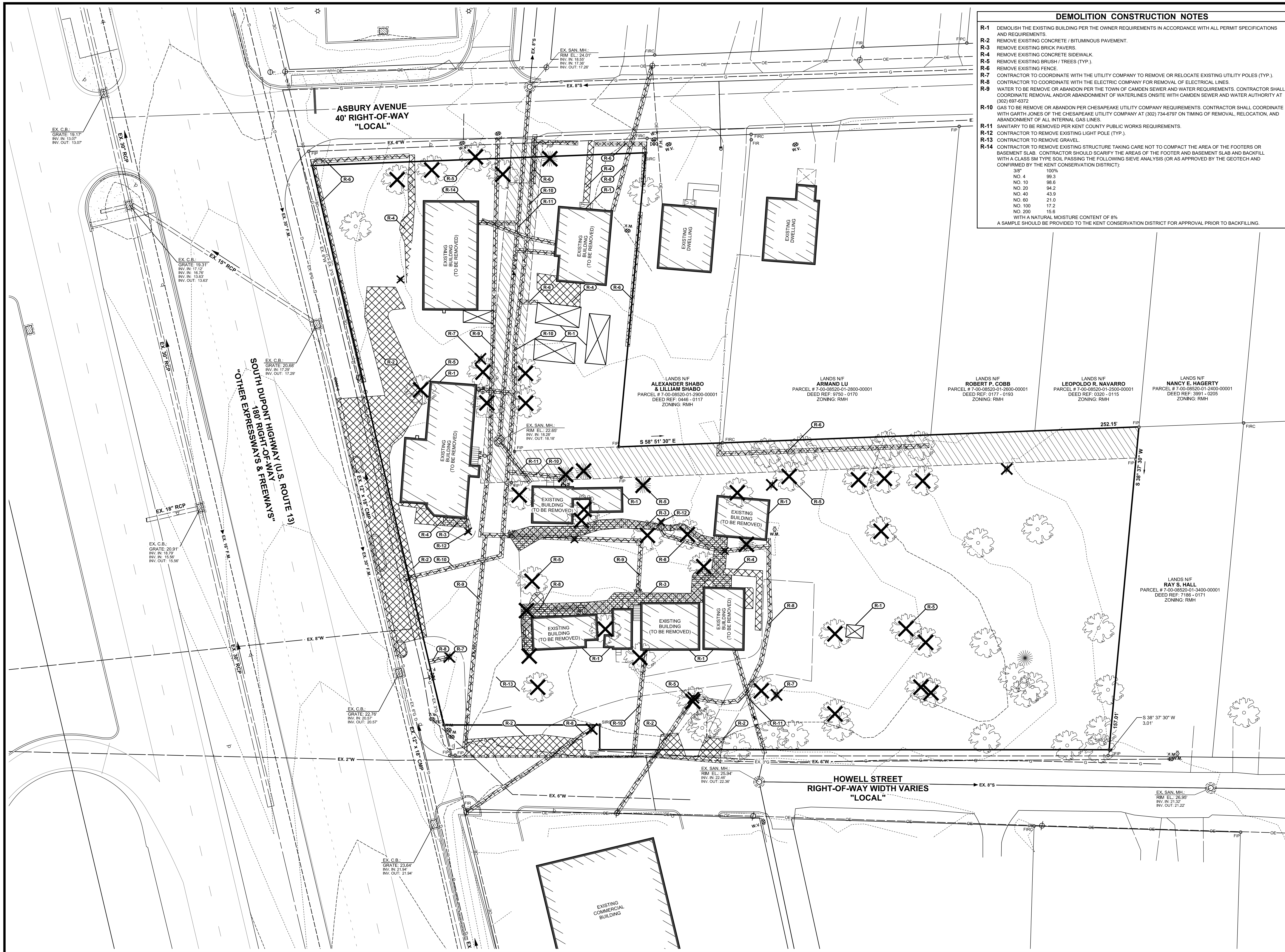
PROJECT NO.: 2019207.00
DATE: 10/23/2019
SCALE: AS SHOWN

DRAWN BY: J.D.K. | PROJ. MGR.: J.N.S.

SHEET

C-002

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- ### DEMOLITION CONSTRUCTION NOTES
- R-1 DEMOLISH THE EXISTING BUILDING PER THE OWNER REQUIREMENTS IN ACCORDANCE WITH ALL PERMIT SPECIFICATIONS AND REQUIREMENTS.
 - R-2 REMOVE EXISTING CONCRETE / BITUMINOUS PAVEMENT.
 - R-3 REMOVE EXISTING BRICK PAVERS.
 - R-4 REMOVE EXISTING CONCRETE SIDEWALK.
 - R-5 REMOVE EXISTING BRUSH / TREES (TYP.).
 - R-6 REMOVE EXISTING FENCE.
 - R-7 CONTRACTOR TO COORDINATE WITH THE UTILITY COMPANY TO REMOVE OR RELOCATE EXISTING UTILITY POLES (TYP.).
 - R-8 CONTRACTOR TO COORDINATE WITH THE ELECTRIC COMPANY FOR REMOVAL OF ELECTRICAL LINES.
 - R-9 WATER TO BE REMOVED OR ABANDON PER THE TOWN OF CAMDEN SEWER AND WATER REQUIREMENTS. CONTRACTOR SHALL COORDINATE REMOVAL AND/OR ABANDONMENT OF WATERLINES ONSITE WITH CAMDEN SEWER AND WATER AUTHORITY AT (302) 697-6372.
 - R-10 GAS TO BE REMOVED OR ABANDON PER CHESAPEAKE UTILITY COMPANY REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH GARTH JONES OF THE CHESAPEAKE UTILITY COMPANY AT (302) 734-8797 ON TIMING OF REMOVAL, RELOCATION, AND ABANDONMENT OF ALL INTERNAL GAS LINES.
 - R-11 SANITARY TO BE REMOVED PER KENT COUNTY PUBLIC WORKS REQUIREMENTS.
 - R-12 CONTRACTOR TO REMOVE EXISTING LIGHT POLE (TYP.).
 - R-13 CONTRACTOR TO REMOVE GRAVEL.
 - R-14 CONTRACTOR TO REMOVE EXISTING STRUCTURE TAKING CARE NOT TO COMPACT THE AREA OF THE FOOTERS OR BASEMENT SLAB. CONTRACTOR SHOULD SCARIFY THE AREAS OF THE FOOTER AND BASEMENT SLAB AND BACKFILL WITH A CLASS SM TYPE SOIL PASSING THE FOLLOWING SIEVE ANALYSIS (OR AS APPROVED BY THE GEOTECH AND CONFIRMED BY THE KENT CONSERVATION DISTRICT):
- | | |
|---------|------|
| 3/8" | 100% |
| NO. 4 | 99.3 |
| NO. 10 | 98.6 |
| NO. 20 | 94.2 |
| NO. 40 | 43.9 |
| NO. 60 | 21.0 |
| NO. 100 | 17.2 |
| NO. 200 | 15.6 |
- WITH A NATURAL MOISTURE CONTENT OF 8%
A SAMPLE SHOULD BE PROVIDED TO THE KENT CONSERVATION DISTRICT FOR APPROVAL PRIOR TO BACKFILLING.

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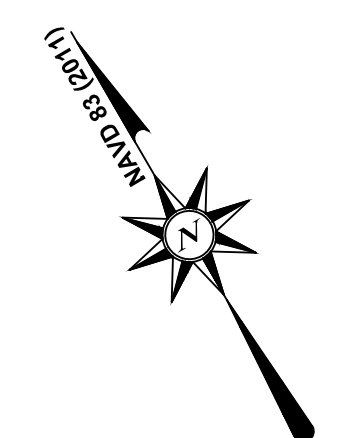
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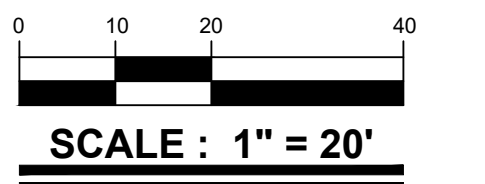
PROJECT TITLE

DOLLAR GENERAL CAMDEN

2035 SOUTH DUPONT HIGHWAY
TOWN OF CAMDEN
KENT COUNTY, DELAWARE

SHEET TITLE

EXISTING CONDITIONS AND DEMOLITION PLAN



ISSUE BLOCK

NO.	DATE	DESCRIPTION
3.	5/4/20	REVISED PER KCD COMMENTS DATED 4/15/20
2.	4/30/20	REVISED PER DELDOT COMMENTS DATED 4/3/20
1.	3/6/20	REVISED PER KENT COUNTY PUBLIC WORKS COMMENTS DATED 3/4/20

PROJECT NO.: 2019207.00

DATE: 10/23/2019

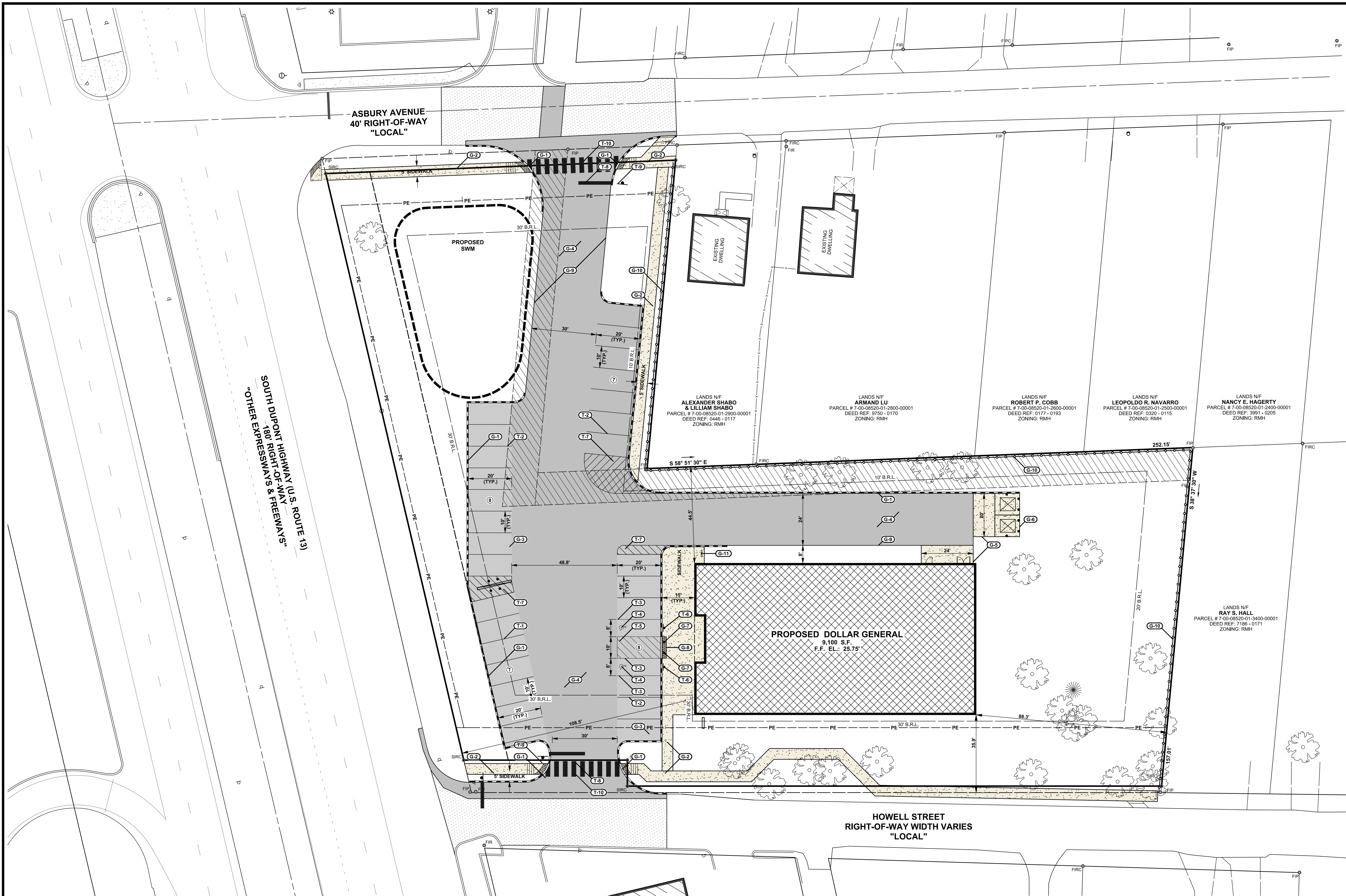
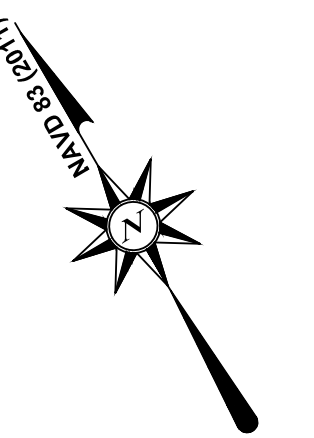
SCALE: 1" = 20'

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PROJECT TITLE

**DOLLAR
GENERAL
CAMDEN**

2035 SOUTH DUPONT HIGHWAY
TOWN OF CAMDEN
KENT COUNTY, DELAWARE

SHEET TITLE

**SITE, SIGNAGE,
AND STRIPING
PLAN**



ISSUE BLOCK

NO.	DATE	DESCRIPTION
3.	5/4/20	REVISED PER KCD COMMENTS DATED 4/15/20
2.	4/30/20	REVISED PER DELDOT COMMENTS DATED 4/3/20
1.	3/6/20	REVISED PER KENT COUNTY PUBLIC WORK COMMENTS DATED 3/4/20

PROJECT NO.: 2019207.00

DATE: 10/23/2019

SCALE: 1" = 20'

DRAWN BY: J.D.K. | PROJ. MGR.: J.N.S.

SHEET

C-201

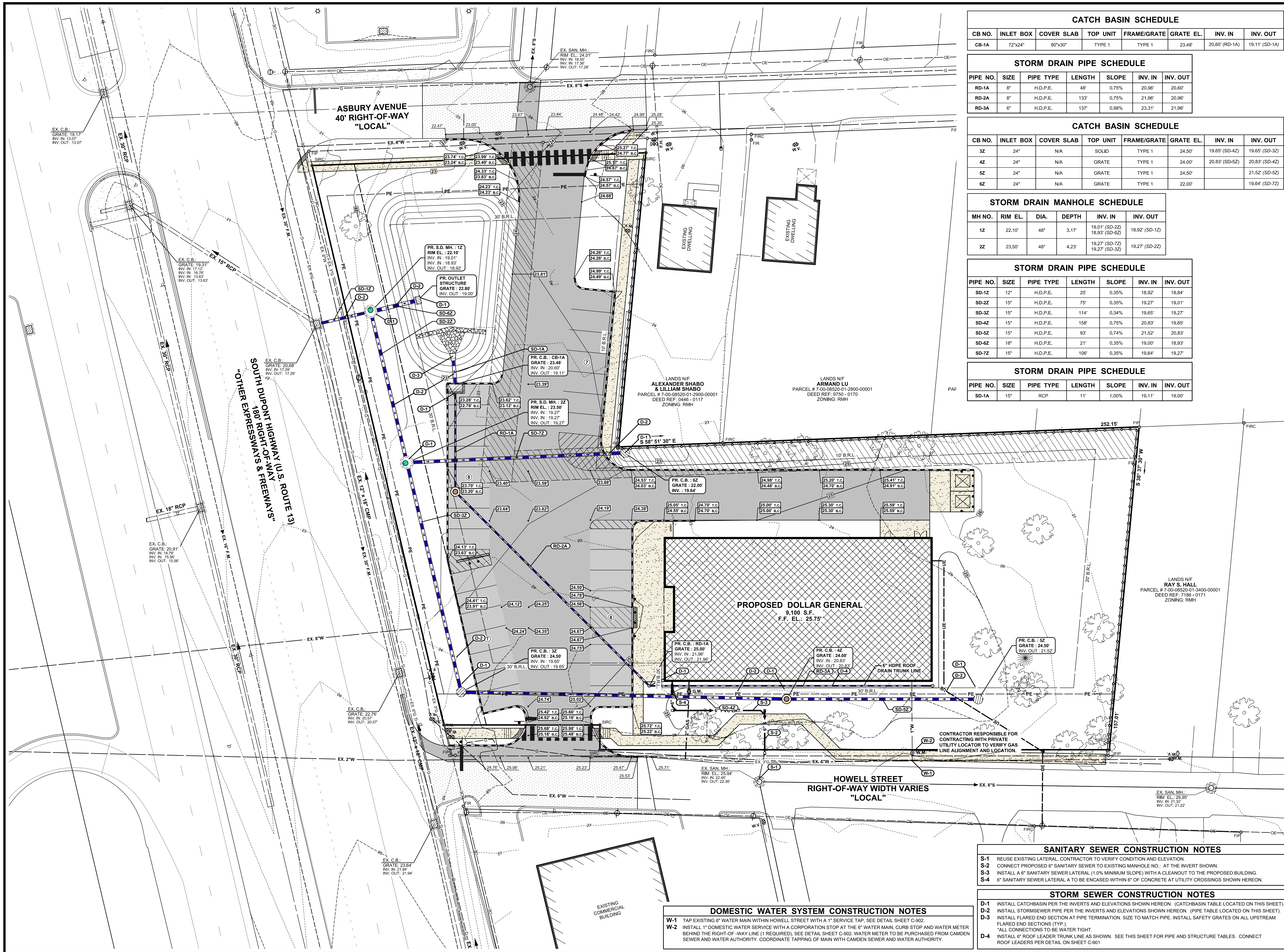
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STRIPING & SIGNAGE CONSTRUCTION NOTES

- T-1 PROPOSED 24" WIDE PAINTED STOP BAR.
- T-2 PROPOSED PAINTED STRIPING - 4" SOLID WHITE LINE.
- T-3 PROPOSED PAINTED STRIPING - 4" SOLID BLUE LINE FOR HANDICAP DEMARCATION.
- T-4 PROPOSED PAINTED HANDICAP SYMBOL - BLUE. SEE DETAIL, SHEET C-901.
- T-5 PROPOSED PAINTED HANDICAP BLUE STRIPED HASH AREA (45° HATCHED AREA).
- T-6 PROPOSED HANDICAP SIGNAGE WITH PROTECTIVE BOLLARD. SEE DETAIL, SHEET C-901.
- T-7 PROPOSED PAINTED YELLOW STRIPED HASH AREA (45° HATCHED AREA).
- T-8 PROPOSED 16" WIDE THERMO STOP BAR IN ACCORDANCE WITH THE LATEST "DE MUTCD".
- T-9 INSTALL "STOP" SIGN 36" x 36" (R1-1), IN ACCORDANCE WITH THE LATEST "DE MUTCD". SEE DETAIL, SHEET C-901.
- T-10 PROPOSED THERMO "PIANO KEY" PEDESTRIAN CROSSWALK - 24" WIDE SOLID WHITE LINES WITH 24" SPACING IN ACCORDANCE WITH THE LATEST MUTCD.

GENERAL CONSTRUCTION NOTES

- G-1 CONSTRUCT 6" UPRIGHT CURB (DELDOT - TYPE 1-6). SEE DETAIL, SHEET C-901.
- G-2 CONSTRUCT 4" THICK, 6" WIDE CONCRETE SIDEWALK. SEE DETAIL, SHEET C-901.
- G-3 INSTALL REGULAR DUTY PAVEMENT IN LOCATIONS SHOWN. SEE DETAIL, SHEET C-901.
- G-4 INSTALL HEAVY DUTY PAVEMENT IN LOCATIONS SHOWN. SEE DETAIL, SHEET C-901.
- G-5 CONSTRUCT CONCRETE PAD IN AREAS OF THE DUMPSTER AND LOADING PAD AS SHOWN. SEE DETAIL, SHEET C-901.
- G-6 CONSTRUCT DUMPSTER ENCLOSURE, 8' HIGH CHAINLINK FENCE WITH BOLLARDS AS SHOWN.
- G-7 INSTALL 6" CONCRETE FILLED BOLLARD (YELLOW IN COLOR) AT LOCATIONS SHOWN. SEE DETAIL, SHEET C-901.
- G-8 CONSTRUCT HANDICAP RAMP IN ACCORDANCE WITH DOLLAR GENERAL STANDARD CRITERIA.
- G-9 EDGE OF PARKING AND DRIVEWAY PAVING.
- G-10 INSTALL FENCE. SEE DETAIL SHEET C-901.
- G-11 INSTALL PROPOSED BIKE RACK. SEE SHEET C-901 FOR DETAIL.



CATCH BASIN SCHEDULE							
CB NO.	INLET BOX	COVER SLAB	TOP UNIT	FRAME/GRATE	GRATE EL.	INV. IN	INV. OUT
CB-1A	72"x24"	80"x30"	TYPE 1	TYPE 1	23.48'	20.80' (RD-1A)	19.11' (SD-1A)

STORM DRAIN PIPE SCHEDULE						
PIPE NO.	SIZE	PIPE TYPE	LENGTH	SLOPE	INV. IN	INV. OUT
RD-1A	8"	H.D.P.E.	48'	0.75%	20.96'	20.60'
RD-2A	8"	H.D.P.E.	133'	0.75%	21.96'	20.96'
RD-3A	6"	H.D.P.E.	137'	0.98%	23.31'	21.96'

CATCH BASIN SCHEDULE							
CB NO.	INLET BOX	COVER SLAB	TOP UNIT	FRAME/GRATE	GRATE EL.	INV. IN	INV. OUT
3Z	24"	N/A	SOLID	TYPE 1	24.50'	19.65' (SD-4Z)	19.65' (SD-3Z)
4Z	24"	N/A	GRATE	TYPE 1	24.00'	20.83' (SD-6Z)	20.83' (SD-4Z)
5Z	24"	N/A	GRATE	TYPE 1	24.50'		21.52' (SD-5Z)
6Z	24"	N/A	GRATE	TYPE 1	22.00'		19.64' (SD-7Z)

STORM DRAIN MANHOLE SCHEDULE					
MH NO.	RIM EL.	DIA.	DEPTH	INV. IN	INV. OUT
1Z	22.10'	48"	3.17'	19.01' (SD-2Z) 18.93' (SD-6Z)	18.92' (SD-1Z)
2Z	23.50'	48"	4.23'	19.27' (SD-7Z) 19.27' (SD-3Z)	19.27' (SD-2Z)

STORM DRAIN PIPE SCHEDULE						
PIPE NO.	SIZE	PIPE TYPE	LENGTH	SLOPE	INV. IN	INV. OUT
SD-1Z	12"	H.D.P.E.	25'	0.35%	18.92'	18.84'
SD-2Z	15"	H.D.P.E.	75'	0.35%	19.27'	19.01'
SD-3Z	15"	H.D.P.E.	114'	0.34%	19.65'	19.27'
SD-4Z	15"	H.D.P.E.	158'	0.75%	20.83'	19.65'
SD-5Z	15"	H.D.P.E.	93'	0.74%	21.52'	20.83'
SD-6Z	18"	H.D.P.E.	21'	0.35%	19.00'	18.93'
SD-7Z	15"	H.D.P.E.	106'	0.35%	19.64'	19.27'

STORM DRAIN PIPE SCHEDULE						
PIPE NO.	SIZE	PIPE TYPE	LENGTH	SLOPE	INV. IN	INV. OUT
SD-1A	15"	RCP	11'	1.00%	19.11'	19.00'

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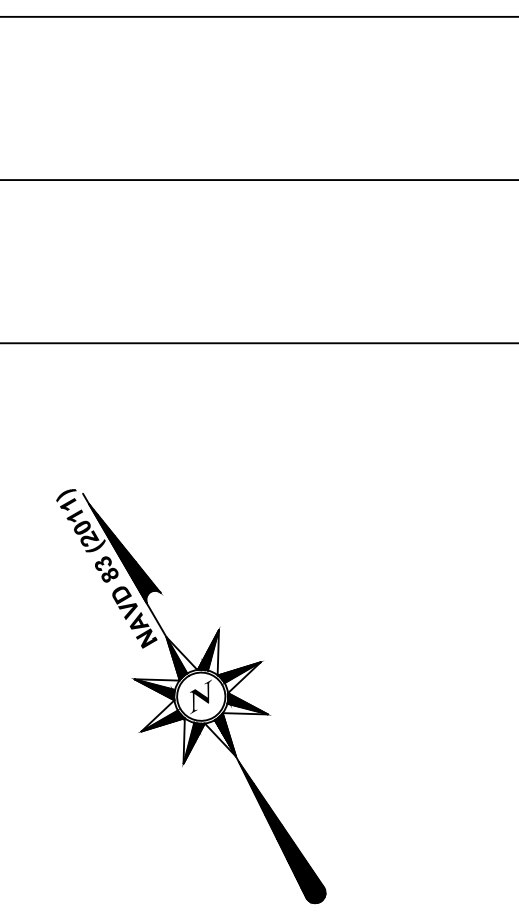
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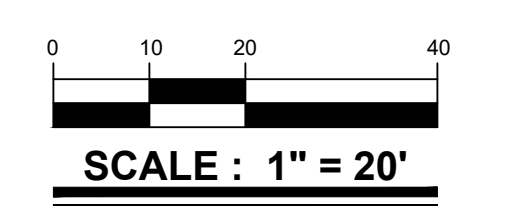
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PROJECT TITLE
DOLLAR GENERAL CAMDEN

2035 SOUTH DUPONT HIGHWAY
TOWN OF CAMDEN
KENT COUNTY, DELAWARE

SHEET TITLE
SITE UTILITY AND GRADING



ISSUE BLOCK		
NO.	DATE	DESCRIPTION
3.	5/4/20	REVISED PER KCD COMMENTS DATED 4/15/20
2.	4/30/20	REVISED PER DELDOT COMMENTS DATED 4/30/20
1.	3/6/20	REVISED PER KENT COUNTY PUBLIC WORK COMMENTS DATED 3/4/20

MARK DATE DESCRIPTION
LAYER/STATE: C-301

PROJECT NO.: 2019207.00
DATE: 10/23/2019
SCALE: 1" = 20'
DRAWN BY: J.D.K. PROJ. MGR.: J.N.S.

SHEET
C-301
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SANITARY SEWER CONSTRUCTION NOTES

S-1 REUSE EXISTING LATERAL. CONTRACTOR TO VERIFY CONDITION AND ELEVATION.
S-2 CONNECT PROPOSED 6" SANITARY SEWER TO EXISTING MANHOLE NO. AT THE INVERT SHOWN.
S-3 INSTALL A 6" SANITARY SEWER LATERAL (1.0% MINIMUM SLOPE) WITH A CLEANOUT TO THE PROPOSED BUILDING.
S-4 6" SANITARY SEWER LATERAL A TO BE ENCASED WITHIN 6" OF CONCRETE AT UTILITY CROSSINGS SHOWN HEREON.

STORM SEWER CONSTRUCTION NOTES

D-1 INSTALL CATCHBASIN PER THE INVERTS AND ELEVATIONS SHOWN HEREON. (CATCHBASIN TABLE LOCATED ON THIS SHEET)
D-2 INSTALL STORMSEWER PIPE PER THE INVERTS AND ELEVATIONS SHOWN HEREON. (PIPE TABLE LOCATED ON THIS SHEET)
D-3 INSTALL FLARED END SECTION AT PIPE TERMINATION. SIZE TO MATCH PIPE. INSTALL SAFETY GRATES ON ALL UPSTREAM FLARED END SECTIONS (TYP.).
D-4 "ALL CONNECTIONS TO BE WATER TIGHT."
INSTALL 6" ROOF LEADER TRUNK LINE AS SHOWN. SEE THIS SHEET FOR PIPE AND STRUCTURE TABLES. CONNECT ROOF LEADERS PER DETAIL ON SHEET C-501

DOMESTIC WATER SYSTEM CONSTRUCTION NOTES

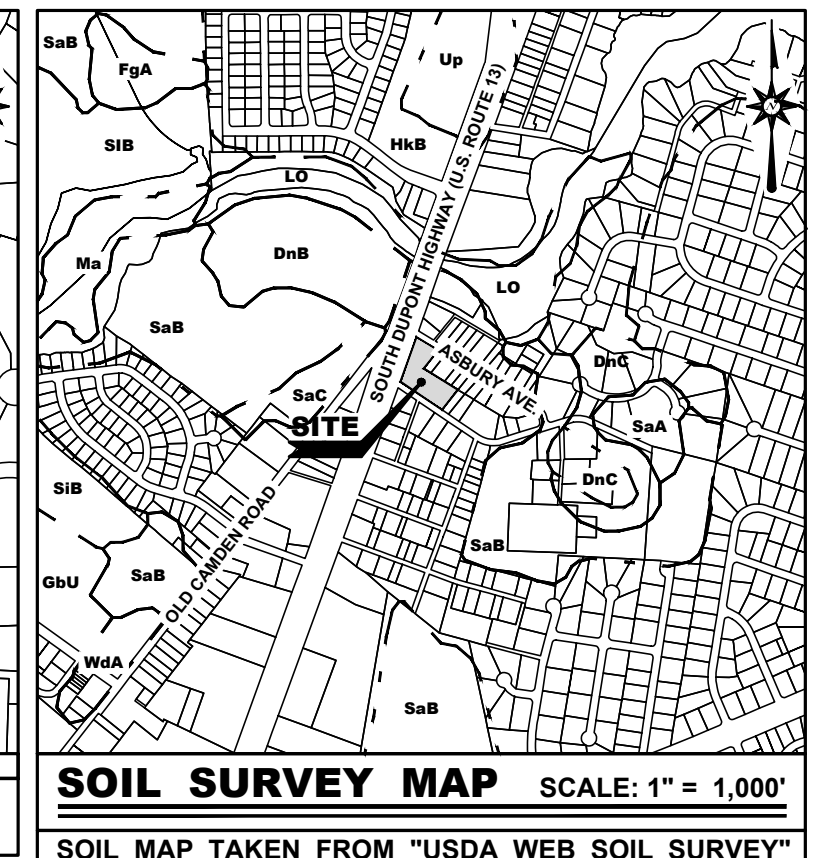
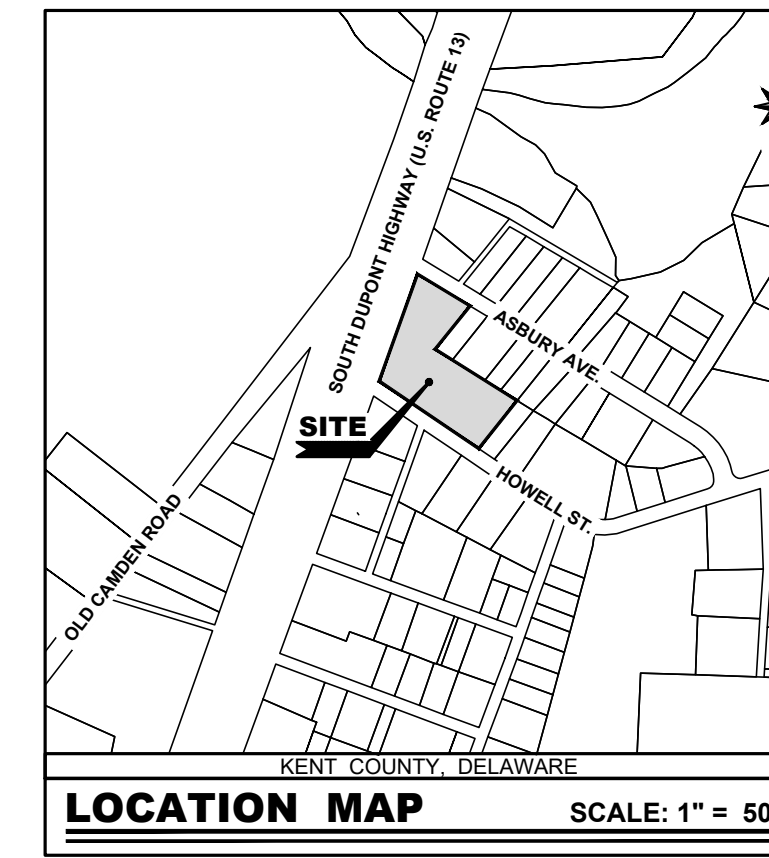
W-1 TAP EXISTING 6" WATER MAIN WITHIN HOWELL STREET WITH A 1" SERVICE TAP. SEE DETAIL SHEET C-902
W-2 INSTALL 1" DOMESTIC WATER SERVICE WITH A CORPORATION STOP AT THE 6" WATER MAIN. CURB STOP AND WATER METER BEHIND THE RIGHT-OF-WAY LINE (1 REQUIRED). SEE DETAIL SHEET C-902. WATER METER TO BE PURCHASED FROM CAMDEN SEWER AND WATER AUTHORITY. COORDINATE TAPPING OF MAIN WITH CAMDEN SEWER AND WATER AUTHORITY.

DOLLAR GENERAL CAMDEN

SEDIMENT AND STORMWATER MANAGEMENT PLANS

ST. JONES RIVER WATERSHED MURDER KILL HUNDRED

TAX PARCELS: 7-00-085.20-01-30.00, 31.00, 32.00, & 33.00 TOWN OF CAMDEN KENT COUNTY, DE



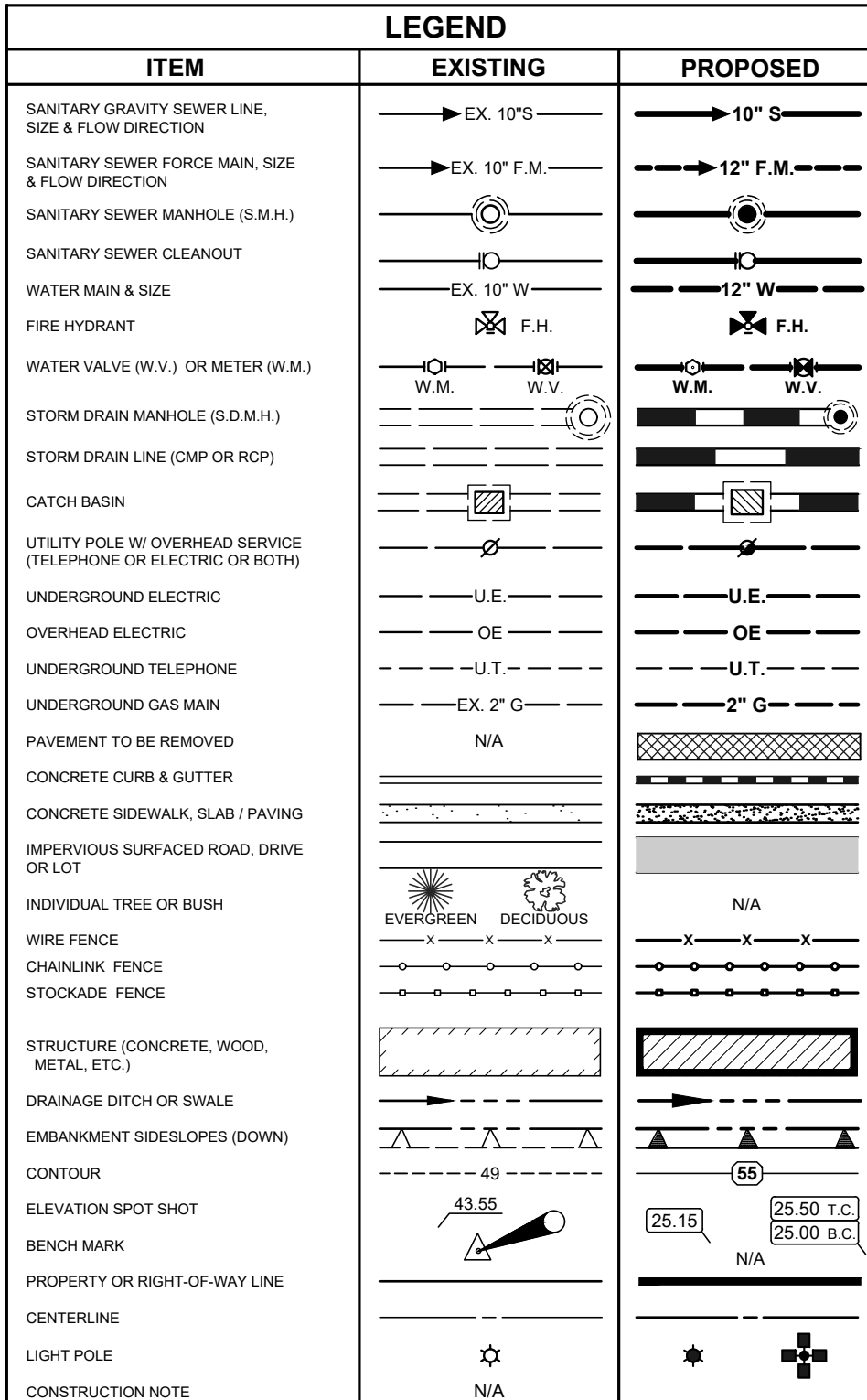
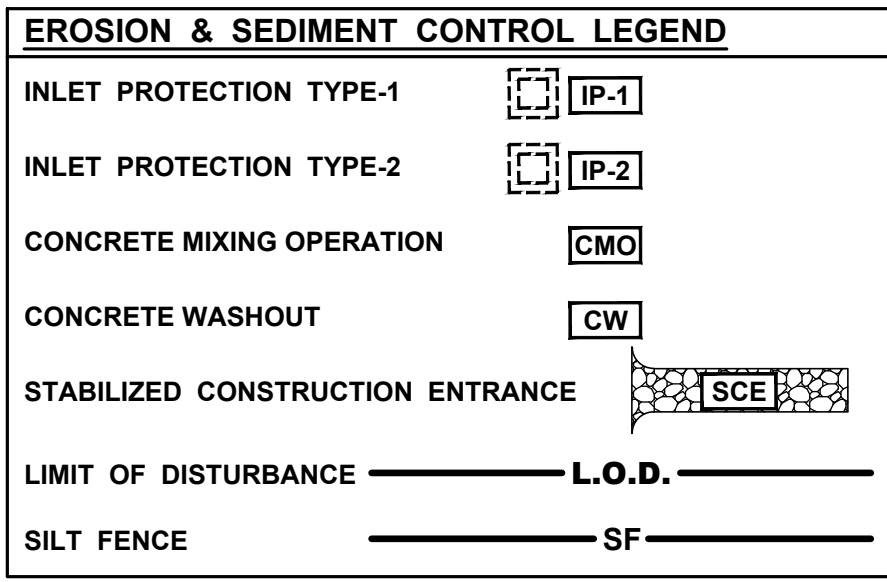
SOIL MAP TAKEN FROM "USDA WEB SOIL SURVEY"
(WEBSOILSURVEY.NRCS.USDA.GOV)
Grid: GREENWICH-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES
(B SOIL)

- STABILIZATION AND SEEDING NOTES:**
- PERMANENT SEEDING:
 - A. SHALL BE CONDUCTED YEAR AROUND.
 - B. SEED BED PREPARATION: SHALL BE IN ACCORDANCE WITH DE-ESC-3-4.3, SHEET 4 OF 4 (C-504).
 - C. SOIL AMENDMENTS: FERTILIZER AND LIME APPLICATION SHALL BE IN ACCORDANCE WITH DE-ESC-3-4.3, SHEET 4 OF 4 (C-504).
 - D. SEEDING: APPLY PERMANENT SEEDING MIX #7. APPLY SEED UNIFORMLY WITH A BROADCAST SEEDER, DRILL, CULTRIPACKER SEEDER OR HYDROSEEDER. ALL SEED WILL BE APPLIED AT THE RECOMMENDED RATE AND PLANTING DEPTH, IN ACCORDANCE WITH DE-ESC-3-4.3 (C-504).
 - WETLAND SEEDING:
 - A. APPLY WETLAND SEEDING MIX AS FOLLOWS:
ERNST SEEDS - NATIVE DETENTION AREA MIX
36% PANICUM GLANDSTEFUM, TIGSA 2% JUNCUS TENUIS, PA ECOTYPE
20% CAREX VULPINOIDEA, PA ECOTYPE 1% JUNCUS EFFUSUS
20% ELYMUS VIRGINICUS, PA ECOTYPE 1% PANICUM RIGIDULUM, PA ECOTYPE
20% PANICUM VIRGATUM, SHAWNEE
 - B. APPLY SEED UNIFORMLY WITH A BROADCAST SEEDER, DRILL, CULTRIPACKER SEEDER OR HYDROSEEDER. ALL SEED WILL BE APPLIED AT 1/2 LB PER 1,000 S.F., OR PER MANUFACTURER RECOMMENDATION.
 - MULCH:
 - A. IMMEDIATELY AFTER SEEDING, UNIFORMLY MULCH ENTIRE AREA WITH STRAW AT A RATE OF 2 TONS PER ACRE MINIMUM. ALL MULCHING SHALL BE DONE IN ACCORDANCE WITH DETAIL DE-ESC-3-4.5 (C-504).
 - B. TOPSOIL: ALL AREAS TO BE PERMANENTLY SEEDED SHALL HAVE A MINIMUM OF 4" OF TOPSOIL.
 - TEMPORARY STABILIZATION:
 - A. PROVIDE SEED BED SAME AS 1-B ABOVE.
 - B. APPLY MIX NO. 5 (ANNUAL RYEGRASS) IN ACCORDANCE WITH DETAIL DE-ESC-3-4.3, SHEET 1 OF 4.
 - C. MULCH SAME AS 1-E ABOVE.
 - TEMPORARY STABILIZATION IS REQUIRED, PERMANENT SEEDING SHALL BE PERFORMED AS SOON AS POSSIBLE.
 - ALL FILL SLOPE AREAS SHOWN ON PLAN ARE TO BE STABILIZED AS PER STATEMENT 1 OR 2 ABOVE IMMEDIATELY AFTER COMPLETION OF GRADING OPERATIONS FOR THESE SLOPES.
 - EROSION CONTROL MATTING IS REQUIRED ON ALL SLOPES OF 3:1 OR GREATER AND IN AREAS OF CONCENTRATED FLOW.

- SEDIMENT AND STORMWATER CONSTRUCTION NOTES:**
- THE KENT CONSERVATION DISTRICT (KCD) MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORM WATER MANAGEMENT PLAN.
 - REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORM WATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORM WATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
 - IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORM WATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY KCD.
 - FOLLOWING SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN FOURTEEN (14) CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
 - ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
 - AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE DNREC WELL PERMITTING BRANCH.
 - APPROVED PLANS REMAIN VALID FOR 5 YEARS FROM THE DATE OF APPROVAL.
 - POST CONSTRUCTION VERIFICATION DOCUMENTS ARE TO BE SUBMITTED TO THE DNREC SEDIMENT AND STORMWATER PROGRAM WITHIN 60-DAYS OF STORMWATER MANAGEMENT FACILITY COMPLETION.
 - APPROVAL OF A SEDIMENT AND STORM WATER PLAN SHALL NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORM WATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
 - THE NOTICE OF INTENT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT FOR THIS PROJECT IS # 0194.
 - IF AT ANY TIME THE OWNERSHIP FOR THIS PROJECT CHANGES, A TRANSFER OF AUTHORIZATION OR A CO-PERMITTEE APPLICATION MUST BE SUBMITTED TO DNREC. THE PERMITEE OF RECORD SHALL NOT BE RELIEVED OF THEIR RESPONSIBILITY UNTIL A NOTICE OF TERMINATION HAS BEEN PROCESSED BY DNREC.
 - THE OWNER SHALL BE FAMILIAR WITH AND COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION GENERAL PERMIT ASSOCIATED WITH THE PROJECT, INCLUDING BUT NOT LIMITED TO, PERFORMING WEEKLY SITE INSPECTION DURING THE CONSTRUCTION AND AFTER RAIN EVENTS AND MAINTAINING WRITTEN LOGS OF THESE INSPECTIONS.
 - BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1-800-282-8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITY MARKED ON-SITE.
 - THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROL SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WITHIN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIME OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE INSPECTOR.
 - BEST AVAILABLE TECHNOLOGY (BAT) SHALL BE DIRECTLY APPLIED TO MANAGE TURBID DISCHARGES IN ACCORDANCE WITH REQUIREMENT OF 7, DEL. C. CH.60, REGULATIONS GOVERNING THE CONTROL OF WATER POLLUTION, SECTION 9.1.02, KNOWN AS SPECIAL CONDITIONS FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND DEPARTMENT POLICIES, PROCEDURES AND GUIDANCE.
 - DOCUMENTATION OF SOIL TESTING AND MATERIALS USED FOR TEMPORARY OR PERMANENT STABILIZATION INCLUDING BUT NOT LIMITED TO SOIL TEST RESULTS, SEED TAGS, SOIL AMENDMENT TAGS, ETC. SHALL BE PROVIDED TO THE DEPARTMENT OR DELEGATED AGENCY TO VERIFY THAT THE PERMANENT OR TEMPORARY STABILIZATION HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN. THE KENT CONSERVATION DISTRICT MAY REQUIRE ADDITIONAL SOIL TESTING AND REAPPLICATION OF PERMANENT OR TEMPORARY STABILIZATION.
 - PERIODIC MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES IS REQUIRED TO INSURE EFFECTIVE SEDIMENT CONTROL. INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MADE AT LEAST WEEKLY AND AFTER EACH RAINFALL EVENT. REPAIRS SHALL BE MADE WITHIN 24 HOURS OF THE RAIN EVENT OR WHEN OTHERWISE IDENTIFIED.
 - THE SEQUENCE OF CONSTRUCTION ON THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLAN MUST BE STRICTLY ADHERED. ANY DIVERGENCE FROM THE APPROVED CONSTRUCTION SEQUENCE REQUIRES A WRITTEN REFER TO MODIFY AND THE WRITTEN APPROVAL OF KCD.
 - A COPY OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLANS MUST BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION.
 - TO PREVENT OR REDUCE THE MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THE SITE SHALL BE SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST AND REPEATED AS NECESSARY. ALTERNATIVE METHODS OF DUST CONTROL REQUIRE APPROVAL OF KCD.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND REPAIR ALL EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT PRACTICES DURING UTILITY INSTALLATION.
 - ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS BY A STABILIZED ENTRANCE.
 - IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORM WATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY KCD.
 - A PRE-CONSTRUCTION MEETING MUST TAKE PLACE BEFORE ANY EARTH DISTURBING ACTIVITY BEGINS. THE MEETING MUST BE ATTENDED BY AN OWNER'S REPRESENTATIVE, CONTRACTOR, CCR (IF REQUIRED FOR THE SITE), AND KCD INSPECTOR.
 - KCD RESERVES THE RIGHT TO ENTER PRIVATE PROPERTY FOR PURPOSES OF PERIODIC SITE INSPECTION.
 - SOIL STOCKPILE AREAS MUST BE DELINEATED. LOCATE STOCKPILES ON AREAS WITH LITTLE OR NO SLOPE. STOCKPILES MUST BE SURROUNDED WITH SILT FENCE OR A STABILIZED EARTHEN BERM. STOCKPILE AREAS MUST BE SEEDED WITH TEMPORARY SEEDING MIXTURE AND MULCHED.
 - KCD RESERVES THE RIGHT TO WITHHOLD PERMITS AND LETTERS OF NO OBJECTION RELATED TO OBTAINING CERTIFICATES OF OCCUPANCY FROM THE LOCAL JURISDICTION FOR NON COMPLIANCE WITH THE PLANS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL.
 - KCD RESERVES THE RIGHT TO ADD, DELETE, MODIFY OR OTHERWISE ALTER THE SEDIMENT CONTROL PROVISIONS OF THIS PLAN IN THE EVENT ADDITIONAL PROTECTION BECOMES NECESSARY.
 - EROSION AND SEDIMENT CONTROL WILL BE STRICTLY ENFORCED.
 - EROSION CONTROL FOR UTILITY CONSTRUCTION IS PLACED ON AREAS OUTSIDE OF DESIGNED CONTOURS:
 - a. EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
 - b. IMMEDIATELY FOLLOWING PIPE INSTALLATION THE TRENCH SHALL BE BACK FILLED, COMPACTED AND STABILIZED.
 - c. TEMPORARY SILT FENCE OR STRAW BALES DIKES SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE WORKING DAY.
 - EROSION CONTROL MATTING IS REQUIRED ON SLOPES OF 3:1 OR GREATER IN AREAS OF CONCENTRATED FLOW. MATTING TYPE IS TO BE NORTH AMERICAN GREEN S-75BN (OR APPROVED EQUIVALENT).
 - KCD SHALL BE NOTIFIED WITHIN 30 BUSINESS DAYS IF THE PROPERTY OWNERSHIP IS TRANSFERRED TO A NEW PERSON OR ENTITY.
 - KCD MAY SEEK ENFORCEMENT ACTION AGAINST ANY OWNER DEEMED NEGLIGENT IN FULFILLING THE OPERATION AND MAINTENANCE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS.
 - KCD SHALL BE CONTACTED IF A CONCERN ARISES REGARDING A STORMWATER MANAGEMENT FACILITY, BEFORE ANY NON-ROUTINE MAINTENANCE, OR IF MODIFICATIONS TO THE FACILITY ARE DESIRED.
 - ANY DESIGN MODIFICATIONS MADE TO THE STORMWATER MANAGEMENT SYSTEM SHALL REQUIRE THE CREATION OF A NEW POST CONSTRUCTION STORMWATER MANAGEMENT PLAN AND/OR OPERATION AND MAINTENANCE PLAN, WITH APPROVAL OF THE PLANS BY KCD.
 - FOR ALL EASEMENT AREAS AND THE 10' WIDE ACCESS WAYS TO ALL STORMWATER FACILITIES AND THEIR STRUCTURAL COMPONENTS BE PERFORMED TO KEEP THE GRASS 6" OR LESS; NO TREES OR SHRUBS SHALL BE PLANTED, AND ANY FOUND GROWING SHALL BE REMOVED, AND NO PERMANENT STRUCTURES, SUCH AS FENCES OR SHEDS, SHALL BE LOCATED WITHIN THE EASEMENT OR ACCESS WAY.
 - TREES SHALL NOT BE PLANTED, AND SHALL BE REMOVED IF FOUND GROWING, ON AND WITHIN 15 FEET OF ALL POND EMBANKMENTS, ON POND SLOPES, OR SAFETY BENCHES, AND WITHIN 10 FEET OF STRUCTURAL COMPONENTS.
 - WHEN THE FACILITY IS EXCAVATING TO REMOVE ACCUMULATED SEDIMENT, THE DISPOSAL AREA SHALL BE PERMANENTLY STABILIZED SO THAT IT DOES NOT RECREATE AN EROSION PROBLEM. ANY MATERIAL TAKEN OFF-SITE SHALL STILL BE UTILIZED OR DISPOSED IN AN APPROVED DNREC MANNER.
 - BEFORE ANY EARTHWORK OR EXCAVATION TAKES PLACE, THE CONTRACTOR SHALL CALL MISS UTILITY AT 811 OR 1-800-282-8555 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, TO HAVE ALL EXISTING UTILITIES MARKED ON-SITE.
 - NO HEAVY MACHINERY MAY TRAVERSE AN INFILTRATION SURFACE.

SHEET INDEX	
SHEET NO.:	C-500
C-500	SEDIMENT AND STORMWATER MANAGEMENT COVER SHEET
C-501	PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
C-502	CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
C-503	POST-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN
C-504 - C-506	EROSION AND SEDIMENT CONTROL DETAILS

- SEQUENCE OF CONSTRUCTION**
- DISTURBED ACREAGE - 1.70 ACRES
- NOTIFY KCD AT (302-608-5370) AND IN WRITING AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLANS.
 - PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED AND CONDUCTED WITH KCD, THE LANDOWNER/DEVELOPER, CONTRACTOR, AND THE CERTIFIED CONSTRUCTION REVIEWER (CCR) ARE REQUIRED TO BE IN ATTENDANCE AT THE PRE-CONSTRUCTION MEETING; THE DESIGNER IS RECOMMENDED TO ATTEND.
 - OBTAIN ALL CITY, COUNTY, AND STATE PERMITS PRIOR TO THE START OF CONSTRUCTION.
 - CLEAR AND GRUB AREAS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS, INCLUDING BUT NOT LIMITED TO: STABILIZED CONSTRUCTION ENTRANCE SILT FENCE AND INLET PROTECTION ON ALL EXISTING INLETS AND CURBVERTS.
 - ALL PERMETER CONTROLS ARE TO BE REVIEWED BY THE AGENCY CCR AND APPROVED PRIOR TO PROCEEDING WITH FURTHER SITE DISTURBANCE OR CONSTRUCTION. INSTALL PERIMETER CONTROLS PER THE APPROVED SEDIMENT AND STORMWATER MANAGEMENT PLANS.
 - THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULL CONTAIN AND CONTROL SEDIMENTATION ON THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR REPAIR MEASURES IN TIMES OF ADVERSE WEATHER CONDITION, OR AS DIRECTED BY THE AGENCY CCR.
 - DEMOLISH EXISTING SITE FEATURES INCLUDING BUT NOT LIMITED TO STRUCTURES, PAVEMENT, TREES, PAVEMENT AREAS AND UTILITIES. SPECIAL CARE SHOULD BE TAKEN IN THE DEMOLITION AND REMOVAL OF THE EXISTING BUILDING NO. 1, AS ITS BASE WILL BE UTILIZED AS AN INFILTRATION FACILITY. THE AREAS OF THE FOUNDATION AND BASEMENT FLOOR AREAS SHOULD BE OVER EXCAVATED. BACKFILLING OF THE BASEMENT AND SUBSURFACE AREAS SHOULD TAKE PLACE UTILIZING SOIL APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER. CONTRACTOR SHOULD REFER TO THE DEMOLITION PLANS FOR FURTHER DETAIL.
 - IF NOT ALREADY STARTED, COORDINATION OF SHIFTING AND RELOCATING THE UTILITIES NEEDS TO TAKE PLACE. SEE APPROVED DEMOLITION PLAN FOR MORE INFORMATION.
 - STRIP TOPSOIL AND STOCKPILE IN DESIGNATED STOCKPILE LOCATION ENCLOSED BY SILT FENCE.
 - CONTRACTOR TO PERFORM DEMOLITION / ABANDONMENT OF ALL ITEMS IN THE AREA OF CONSTRUCTION PER THE APPROVED DEMOLITION PLAN. THESE ITEMS SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH THE EXISTING DEMOLITION PLAN AND/OR STATE OR LOCAL MUNICIPALITY REQUIREMENTS. FOR PHASE 1 OF CONSTRUCTION THE CONTRACTOR SHOULD REMOVE THE PAVERS AND CONCRETE WALKS AND INFILL THE PROPOSED PARKING AREA WITH STONE TO BE UTILIZED AS A LAYDOWN AREA FOR CONSTRUCTION ACTIVITY.
 - INSTALL UNDERGROUND UTILITIES INCLUDING ELECTRIC, TELEPHONE, CABLE, GAS, WATER, SEWER, AND STORM DRAINAGE. INSTALL INLET PROTECTION IN ALL CATCH BASINS PER PLAN. CONTACT UTILITY PROVIDERS, AS NECESSARY. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF DOVER, AND DELDOT TO INSTALL THE WATER LINES IN THE AREA OF CONSTRUCTION. THE CONTRACTOR / OWNER SHOULD INCLUDE THE BUILDINGS WATER DEMAND PRIOR WATER METER PURCHASE AND INSTALLATION.
 - BEGIN EARTHWORK ASSOCIATED WITH BUILDING CONSTRUCTION INCLUDING FOUNDATIONS AND HEAVY STEEL.
 - PRIOR TO THE START OF INFILTRATION BASIN CONSTRUCTION, NOTIFY THE KENT CONSERVATION DISTRICT SITE INSPECTOR A MINIMUM OF 30 DAYS PRIOR TO THE START OF THE STORMWATER SYSTEM CONSTRUCTION. THE GEOTECHNICAL ENGINEER SHOULD ALSO BE NOTIFIED IN ORDER TO PERFORM THE REQUIRED CONFIRMATORY TESTING OF THE INFILTRATIVE LAYER. THE FACILITY MUST BE REVIEWED THROUGHOUT THE CONSTRUCTION.
 - A CCR MUST BE PRESENT DURING CONSTRUCTION OF THE FACILITY. A BMP CONSTRUCTION CHECKLIST MUST BE SUBMITTED TO THE DESIGN ENGINEER AND KCD AS PART OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS.
 - EXCAVATE TO FINAL DESIGN ELEVATIONS OF THE INFILTRATION BASIN. AT THIS POINT, CONFIRMATORY TESTING OF THE INFILTRATIVE LAYER SHOULD TAKE PLACE PER THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, SUBMITTED TO AND APPROVED BY THE KENT CONSERVATION DISTRICT.
 - CONTRACTOR TO PROVIDE AS-BUILT AS REQUIRED BY CODE WITHIN 30 DAYS OF CONSTRUCTION COMPLETION.
 - FINAL GRADE PROPOSED PAVED AREAS.
 - INSTALL CURB AND PAVEMENT STONE BASE AS SPECIFIED.
 - INSTALL REMAINING SITE FEATURES (SIDEWALK, SIGNAGE, ETC.)
 - FINAL GRADE, TOPSOIL, AND SEED THE REMAINING AREAS OF THE SITE PER SEEDING AND STABILIZATION NOTES. INSTALL ALL LANDSCAPING PER THE APPROVED LANDSCAPING PLAN.
 - INSTALL TYPE "C" PAVEMENT IN THE AREAS SPECIFIED.
 - PERFORM INSPECTION OF STORMWATER MANAGEMENT FACILITIES. CORRECT ANY DEFICIENCIES, AS NECESSARY (EROSION, SCOUR, FOREBAYS, ETC.)
 - EROSION AND SEDIMENT CONTROL DEVICES SHOULD BE REMOVED ONLY AFTER WORK IN THE AREA HAS BEEN STABILIZED, WITH WRITTEN APPROVAL FROM KCD.
 - THE TERMINATION OF THE CONSTRUCTION GENERAL PERMIT WILL REQUIRE SUBMISSION AND ACCEPTANCE OF THE POST CONSTRUCTION VERIFICATION DOCUMENTS, INCLUDING FINAL STABILIZATION THROUGHOUT THE SITE, ALL ELEMENTS OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN IMPLEMENTED, AND ACCEPTANCE OF THE FINAL OPERATION AND MAINTENANCE PLAN.



SEDIMENT AND STORMWATER APPROVAL STAMP

J. MICHAEL RIEMANN, P.E. P.E. NO. 13772 DATE _____

BECKER MORGAN GROUP
309 S. GOVERNORS AVE.
DOVER, DELAWARE 19904
(302) 734-7950

OWNER CERTIFICATION

WE, PTV 1099 L.L.C., CERTIFY THAT ALL LAND CLEARING, CONSTRUCTION AND DEVELOPMENT SHALL BE DONE PURSUANT TO THE APPROVED PLAN AND THAT RESPONSIBLE PERSONNEL (I.E. BLUE CARD HOLDER) INVOLVED IN THE LAND DISTURBANCE WILL HAVE A CERTIFICATION OF TRAINING PRIOR TO INITIATION OF THE PROJECT, AT A DNREC SPONSORED OR APPROVED TRAINING COURSE FOR THE CONTROL OF EROSION AND SEDIMENT DURING CONSTRUCTION. IN ADDITION I GRANT THE DNREC SEDIMENT AND STORMWATER PROGRAM AND/OR THE RELEVANT DELEGATED AGENCY THE RIGHT TO CONDUCT ON-SITE REVIEWS, AND UNDERSTAND MY RESPONSIBILITIES UNDER THE NPDES CONSTRUCTION GENERAL PERMIT. AS REFERENCED ON THIS COVERSHEET.

BEN SYPUT, AUTHORIZED REPRESENTATIVE OF PTV 1099 PTV 1099 L.L.C. DATE _____
400 PENN CENTER BOULEVARD, BUILDING 4 SUITE 1000
PITTSBURG, PENNSYLVANIA 15236
(724) 420-5367

SEDIMENT AND STORMWATER APPROVAL STAMP

BECKER MORGAN GROUP

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PROJECT TITLE

DOLLAR GENERAL CAMDEN

2035 SOUTH DUPONT HIGHWAY
TOWN OF CAMDEN
KENT COUNTY, DELAWARE

SHEET TITLE

SEDIMENT AND STORMWATER MANAGEMENT COVER SHEET

ISSUE BLOCK

NO.	DATE	REVISION
3.	4/21/20	REVISED PER KCD COMMENTS DATED 4/15/20
2.	4/6/20	REVISED PER DELDOT COMMENTS DATED 4/3/20.
1.	3/6/20	REVISED PER KENT COUNTY PUBLIC WORKS COMMENTS DATED 3/4/20.

MARK DATE DESCRIPTION
LAYER STATE: C-500

PROJECT NO.: 2019207.00
DATE: 10/23/2019
SCALE: N/A
DRAWN BY: J.D.K. / PROJ. MGR.: J.N.S.

SHEET
C-500
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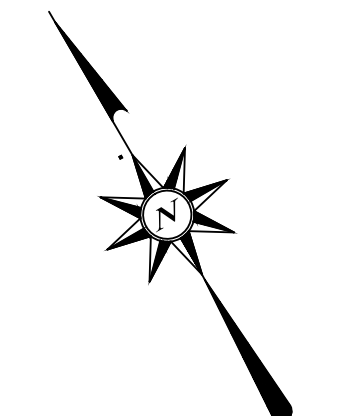


EROSION & SEDIMENT CONTROL LEGEND

INLET PROTECTION TYPE-1	IP-1
INLET PROTECTION TYPE-2	IP-2
CONCRETE MIXING OPERATION	CMO
CONCRETE WASHOUT	CW
STABILIZED CONSTRUCTION ENTRANCE	SCE
LIMIT OF DISTURBANCE	L.O.D.
SILT FENCE	SF



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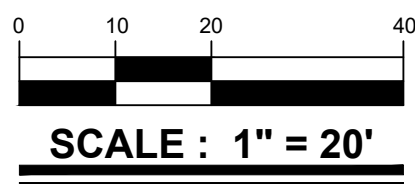
PROJECT TITLE

DOLLAR GENERAL CAMDEN

2035 SOUTH DUPONT HIGHWAY
 TOWN OF CAMDEN
 KENT COUNTY, DELAWARE

SHEET TITLE

PRE-CONSTRUCTION SITE STORMWATER MANAGEMENT PLAN



ISSUE BLOCK

NO.	DATE	DESCRIPTION
3.	4/21/20	REVISED PER KCD COMMENTS DATED 4/15/20
2.	4/6/20	REVISED PER DELDOT COMMENTS DATED 4/3/20
1.	3/6/20	REVISED PER KENT COUNTY PUBLIC WORKS COMMENTS DATED 3/4/20

PROJECT NO.: 2019207.00
 DATE: 10/23/2019
 SCALE: 1" = 20'
 DRAWN BY: J.D.K. | PROJ. MGR.: J.N.S.

C-501

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