

**END**

**On to**

**King**

**Commerical**

**LOT 4**

**FAST**

**FOOD/RETAIL**



# LAND USE APPLICATION

Cover sheet for applications to Planning Commission, Town Council or Board of Adjustment

Please check the appropriate action(s)

Date: 5/12/2020

| SITE PLAN<br>FEE: SEE BELOW   | <input checked="" type="checkbox"/> | CONDITIONAL USE<br>FEE: SEE BELOW  | <input type="checkbox"/> | ZONING AMENDMENT<br>FEE: SEE BELOW  | <input type="checkbox"/> | VARIANCE<br>FEE: \$200.00   | <input type="checkbox"/> |
|---|-------------------------------------|--|--------------------------|---|--------------------------|---|--------------------------|
| <b>MINIMUM FEE: \$275.00</b><br><br><b>PLUS \$10.00 PER 1,000 SQUARE FT. OF FLOOR AREA FOR BUSINESS, COMMERCIAL AND INDUSTRIAL BUILDINGS.</b> |                                     | <b>\$200.00</b><br><br><b>PLUS \$10.00 PER DWELLING UNIT FOR:</b> <ol style="list-style-type: none"> <li>1. Residential Cluster</li> <li>2. Developments</li> <li>3. Townhouses</li> <li>4. Townhouse Developments</li> <li>5. Two-Family and Multi-Family Dwellings</li> <li>6. Multi-Family/Condominium Developments</li> <li>7. Mobile or Manufactured Home Parks</li> <li>8. Subdivisions</li> </ol> |                          | <b>FROM ANY DISTRICT TO RESIDENTIAL \$50.00 PLUS \$ 5.00 PER ACRE OR PART OF AN ACRE \$1,250.00 MAXIMUM FEE.</b><br><br><b>FROM ANY DISTRICT TO COMMERCIAL \$75.00 PLUS \$ 15.00 PER ACRE OR PART OF AN ACRE \$750.00 MAXIMUM FEE.</b><br><br><b>FROM ANY DISTRICT TO INDUSTRIAL \$150.00 PLUS \$ 20.00 PER ACRE OR PART OF AN ACRE \$1,000.00 MAXIMUM FEE.</b><br><br><b>FROM ANY DISTRICT TO PRESERVATION \$10.00 PLUS \$1.00 PER ACRE OR PART OF AN ACRE \$100.00 MAXIMUM FEE.</b> |                          | <b>FEE: \$200.00</b><br><br><b>APPEAL: \$200.00</b>                           |                          |
| The undersigned hereby requests the Camden Planning Commission to grant Site Plan Approval.   |                                     | The undersigned hereby requests Town Council Approval of a Site Plan for a Conditional Use.  |                          | The undersigned petitions Town Council to amend the Zoning District Map.  |                          | The undersigned hereby petitions the Board of Adjustment to grant a variance. |                          |

Property address: **King Commercial Development - Parcel 4**

Property location: **North of Voshell Mill Road, Situated in between US Route 13 and East Street**

Lot number, subdivision name or other identification **Tax Map # NM-02-94.00-01-15.03**

Name and address of legal owner: **Carl P. King Real Estate, LLC., 27690 Sterling BLVD, Millsboro, DE 19966**

Lessee, Attorney, Engineer, or other interested party: **Wawa, Inc.**

Present Zoning District: **C-2** Present Use: **Vacant Commercial**

Proposed Zoning District: **C-2** Proposed Use: **Fast Food / Retail**

Description of property subject to this request: **Vacant lot of King Commercial Development**

Area: **Parcel #4 = 1.615 AC +/-** Width: **185' +/-**

Depth: **305' +/-** Setback: **40' front, 15' side, 20' rear**

Area of any adjacent property that is under the same ownership: **14.0 Acres +/-**



I/We certify that the above information and any attached information is true and correct to the best of my/our knowledge.

Signature of legal owner (if not applicant) CARL P. KING REAL ESTATE, LLC. *Carl P. King*

Signature of applicant: *Anna King*

Cover sheet for applications to Planning Commission, Town Council or Board of Adjustment

**FOR OFFICE USE ONLY**

Application or Petition Number: \_\_\_\_\_ Zoning District Map Number: \_\_\_\_\_

Site Plan Number: \_\_\_\_\_ Modified Grid Number: \_\_\_\_\_

**SITE PLAN REVIEW:**

Preliminary site plan reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

Recommendation: \_\_\_\_\_

**HEARING AND MEETING SUMMARY:**

Planning Commission Hearing Date: \_\_\_\_\_ Planning Commission Meeting Date: \_\_\_\_\_

Action taken by Planning Commission: \_\_\_\_\_

Town Council Hearing Date: \_\_\_\_\_ Town Council Meeting Date: \_\_\_\_\_

Action taken by Town Council: \_\_\_\_\_

Board of Adjustment Hearing Date: \_\_\_\_\_

Action taken by Board of Adjustment: \_\_\_\_\_

Appeal Board of Adjustment Date: \_\_\_\_\_

Result of Appeal: \_\_\_\_\_

**FEE COLLECTION RECORD:**

Amount received: \$ \_\_\_\_\_

By: \_\_\_\_\_

Date: \_\_\_\_\_

Payment Method: \_\_\_\_\_

**FEE SCHEDULE INCREASE EFFECTIVE JULY 1, 2001**

| <b>AMENDMENT TO ZONING DISTRICT MAP APPLICATIONS*</b> |              |                    |                                    |                    |
|---|--------------|--------------------|------------------------------------|--------------------|
| <b>FROM</b>   | <b>TO</b>    | <b>MINIMUM FEE</b> | <b>PER ACRE OR PART OF AN ACRE</b> | <b>MAXIMUM FEE</b> |
| ANY DISTRICT  | RESIDENTIAL  | \$ 50.00           | PLUS \$ 5.00                       | \$1,250.00         |
| ANY DISTRICT  | COMMERCIAL   | \$ 75.00           | PLUS \$15.00                       | \$ 750.00          |
| ANY DISTRICT  | INDUSTRIAL   | \$150.00           | PLUS \$20.00                       | \$1,000.00         |
| ANY DISTRICT  | PRESERVATION | \$ 10.00           | PLUS \$ 1.00                       | \$ 100.00          |

| <b>CONDITIONAL USE APPLICATIONS*</b>  |  |
|---------------------------------------|--|
| <b>\$200.00</b>                       | <b>PLUS \$10.00 PER DWELLING UNIT FOR:</b> |
|                                       | 9. Residential Cluster                     |
|                                       | 10. Developments                           |
|                                       | 11. Townhouses                             |
|                                       | 12. Townhouse Developments                 |
|                                       | 13. Two-Family and Multi-Family Dwellings  |
|                                       | 14. Multi-Family/Condominium Developments  |
| 15. Mobile or Manufactured Home Parks |  |
| 16. Subdivisions                      |  |

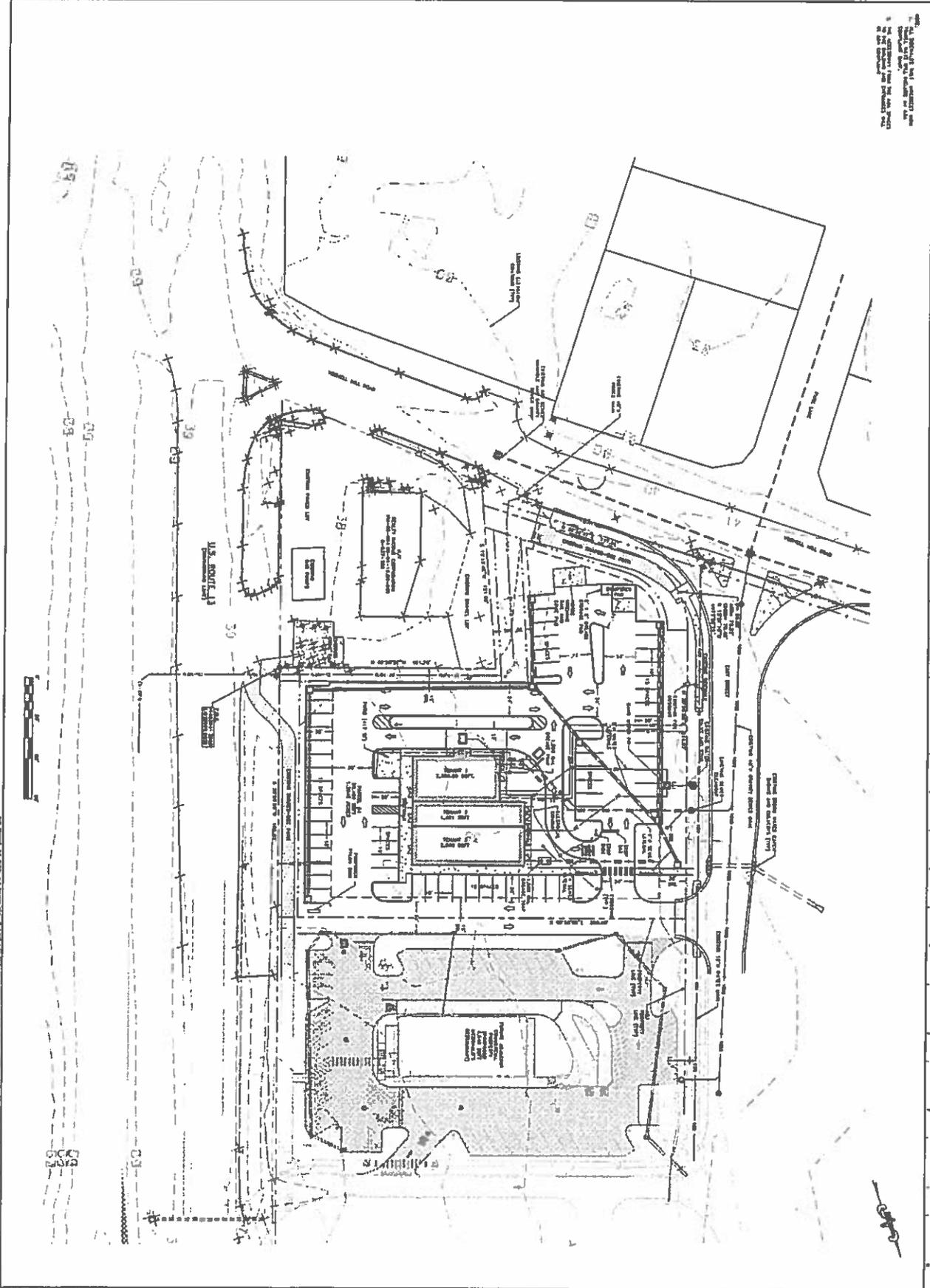
| <b>APPROVAL OF SITE PLAN APPLICATIONS*<br/>(OTHER THAN CONDITIONAL USES)</b> |  |
|--|--|
| <b>MINIMUM FEE</b>   | <b>FILING FEE</b>  |
| <b>\$275.00</b>  | <b>PLUS \$10.00 Per 1,000 square ft. of floor area for business, commercial, and industrial buildings.</b> |

| <b>VARIANCE APPLICATIONS*</b> |
|-------------------------------|
| \$200.00                      |

| <b>APPEALS*</b>  |
|--|
| \$200.00 (Refundable if board finds in favor of applicant) |

**\*ALL APPLICATIONS MUST BE COMPLETE AND SUBMITTED WITH PAYMENT FOR CONSIDERATION**

THIS PLAN IS THE PROPERTY OF DAVIS, BOWEN & FRIEDEL, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DAVIS, BOWEN & FRIEDEL, INC.



|              |         |                              |
|--------------|---------|------------------------------|
| <b>PL-01</b> | DATE    | 10/15/2010                   |
|              | SCALE   | 1" = 40'                     |
|              | PROJECT | KING COMMERCIAL - LOT 4      |
|              | CLIENT  | DAVIS, BOWEN & FRIEDEL, INC. |

**KING COMMERCIAL - LOT 4**  
 TOWN OF CAMDEN  
 KENT COUNTY, DELAWARE

**db** DAVIS, BOWEN & FRIEDEL, INC.  
 ARCHITECTS ENGINEERS SURVEYORS

PRELIMINARY SITE PLAN



# PRELIMINARY LAYOUT CHECKLIST

**SUBMISSION DEADLINE:  
THIRTY (30) DAYS PRIOR TO NEXT MEETING**

(Planning Commission Meetings are held the 3<sup>rd</sup> Wednesday of each Month)

Project Name: King Commercial - Parcel 4      Date of Submission: 5/15/2020

Project Location: North of Voshell Mill Road, Situated in between US Route 13 and East Street

Type of application: Preliminary Site Development Plan

Existing use: Vacant      Proposed use: Fast Food / Retail

Existing zoning: C-2      Proposed zoning: C-2

Tax map number: NM-02-94.00-01-15.03      Kent County:

|   |       |               |          |
|---|-------|---------------|----------|
| Number of copies needed for submission: 5 | PLUS: | Commission: X | Council: |
|---|-------|---------------|----------|

|                                       |  |
|---------------------------------------|--|
| Owner: Carl P. King Real Estate, LLC. | Officers of INC or LLC if Applicable: Bruce King |
|---------------------------------------|--|

|   |  |
|---|--|
| Address: 27690 Sterling BLVD, Millsboro, DE 19966 | Certificate of formation for INC or LLC if Applicable: |
|---|--|

Surveyor/Engineer: Davis, Bowen & Friedel, Inc.

Address: 1 Park Ave. Milford, DE 19963      Phone number: 302-424-1441

Outstanding fees on property \* N/A      Existing violations at site\* N/A

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Project Name                                | <input checked="" type="checkbox"/> Property Owner's Name and Address   |
| <input checked="" type="checkbox"/> Surveyor and/or Engineer's Name and Address | <input checked="" type="checkbox"/> Date                                |
| <input checked="" type="checkbox"/> Property Tax Map Number(s)                  | <input checked="" type="checkbox"/> Scale                               |
| <input checked="" type="checkbox"/> Site Boundary w/ Bearings and Distances     | <input checked="" type="checkbox"/> Total Site Area                     |
| <input checked="" type="checkbox"/> Proposed Lot Areas                          | <input checked="" type="checkbox"/> Front, Side, and Rear Setbacks      |
| <input checked="" type="checkbox"/> Horizontal Datum and Date                   | <input checked="" type="checkbox"/> North Arrow                         |
| <input checked="" type="checkbox"/> Current and Proposed Zoning of Property     | <input checked="" type="checkbox"/> Names of Adjoining Property Owners  |
| <input checked="" type="checkbox"/> Map Numbers of Adjoining Properties         | <input checked="" type="checkbox"/> Zoning of Adjoining Property Owners |

|                                     |   |                                     |  |
|-------------------------------------|---|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Flood Map Panel and Zone                        | <input checked="" type="checkbox"/> | Wetlands Note and/or Delineation                 |
| <input type="checkbox"/>            | Streams and Water Courses                       | <input checked="" type="checkbox"/> | Single Trees with a Diameter of 6 inches or more |
| <input type="checkbox"/>            | Marked or Unmarked Burial Sites                 | <input checked="" type="checkbox"/> | Significant Existing Features and Structures     |
| <input type="checkbox"/>            | Archeological Sites                             | <input checked="" type="checkbox"/> | Underground Storage Tanks                        |
| <input checked="" type="checkbox"/> | Existing and Proposed Contours at 1ft Intervals | <input checked="" type="checkbox"/> | Vertical Datum and Date                          |
| <input checked="" type="checkbox"/> | Size and Location of Existing Utilities         | <input checked="" type="checkbox"/> | Location and Size of Existing Storm Drains       |
| <input checked="" type="checkbox"/> | Location of Existing Utility/Drainage Easements | <input checked="" type="checkbox"/> | Size and Location of Proposed Utilities          |
| <input checked="" type="checkbox"/> | Location and Size of Proposed Storm Drains      | <input checked="" type="checkbox"/> | Location of Proposed Utility/Drainage Easements  |
| <input checked="" type="checkbox"/> | Existing Sidewalk/Curbing/Edge of Pavement      | <input checked="" type="checkbox"/> | Proposed Sidewalk/Curbing/Edge of Pavement       |
| <input type="checkbox"/>            | Cross-Sections and Profiles of Proposed Streets | <input checked="" type="checkbox"/> | Existing and Proposed Parking                    |
| <input checked="" type="checkbox"/> | Existing and Proposed Dedicated Right-of-Way    | <input checked="" type="checkbox"/> | Existing and Proposed Open Space                 |
| <input checked="" type="checkbox"/> | Proposed Building Type and Building Material    | <input type="checkbox"/>            |  |

|  |
|--|
| <b>REMARKS:</b>  |
| This project is part of the King Commercial Development. |
|  |
| <b>CONDITIONS:</b>                                       |
|  |
|  |

- 1) \*NO APPLICATION WILL BE ACCEPTED UNLESS ALL TAXES, ASSESSMENTS, WATER, SEWER, ELECTRIC, TRASH CHARGES OR ANY OTHER FEES DUE THE TOWN, ARE PAID AND IN GOOD STANDING.
  
- 2) THE FINAL PLAT AND OTHER DOCUMENTS AS SPECIFIED IN ARTICLE 5 OF THE LAND SUBDIVISION REGULATIONS SHALL BE PREPARED BY THE SUBDIVIDER IN ACCORDANCE WITH THE GENERAL REQUIREMENTS AND DESIGN STANDARDS SPECIFIED IN ARTICLES 6 AND 7 OF THE LAND SUBDIVISION REQUIREMENTS AND SHALL BE SUBMITTED TO THE COMMISSION WITHIN TWELVE (12) MONTHS AFTER APPROVAL OF THE PRELIMINARY LAYOUT; OTHERWISE, SAID APPROVAL SHALL BECOME NULL AND VOID UNLESS AN EXTENSION OF TIME IS APPLIED FOR, AND GRANTED BY THE COMMISSION WITHIN THE SAID TWELVE (12) MONTH PERIOD.



(302) 697-2239 VOICE  
(302) 697-2293 FAX

250A CAMDEN WYOMING AVENUE  
CAMDEN-WYOMING, DE 19934

June 4, 2020

Sarah Cahall  
Town Clerk  
Town of Camden  
1783 Friends Way  
Camden, DE 19934

RE: Preliminary Site Plan review  
King Commercial Property – Lot 4

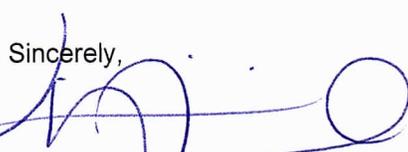
Dear Sarah,

After review of the Preliminary Site Plan and associated documents forwarded to me in reference to Lot 4 of the King Commercial Property in Camden, I would offer the following comments in accordance with the Town of Camden's Site Plan Checklist:

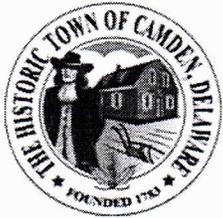
- Please provide the tax map number for the future McDonalds parcel (Lot 3) to the north of this site.
- Provide names and zoning of adjoining property owners.
- Provide the proposed building type and building material in the site data.
- Provide location and size of existing storm drains.
- Provide approximate location and size of proposed storm drains.
- Provide locations of any utility easements for the proposed water and sewer infrastructure if any. If not provide a note to this effect in the General Notes.

It is my understanding that these additional items would be part of the minimum requirements for Final Site Plan approval with the Town of Camden.

Sincerely,



Kevin R. Minnich, P.E.  
Minnich Engineering & Land Planning Inc.  
250A Camden Wyoming Avenue  
Camden, DE 19934  
302-697-2239 Camden Office  
302-349-5381 Greenwood Office



# PRELIMINARY LAYOUT CHECKLIST

**SUBMISSION DEADLINE:  
THIRTY (30) DAYS PRIOR TO NEXT MEETING**

(Planning Commission Meetings are held the 3<sup>rd</sup> Wednesday of each Month)

Project Name: KING COMMERCIAL - LOT #4 Date of Submission: 6-4-2020

Project Location: WEST SIDE U.S. ROUTE 13

Type of application: PRELIMINARY SITE PLAN

Existing use: VACANT Proposed use: COMMERCIAL

Existing zoning: C-2 Proposed zoning: C-2

Tax map number: NM-02-094.00-01-15.03 Kent County:

|   |       |               |          |
|---|-------|---------------|----------|
| Number of copies needed for submission: 5 | PLUS: | Commission: X | Council: |
|---|-------|---------------|----------|

|        |                                       |
|--------|---------------------------------------|
| Owner: | Officers of INC or LLC if Applicable: |
|--------|---------------------------------------|

|          |  |
|----------|--|
| Address: | Certificate of formation for INC or LLC if Applicable: |
|----------|--|

Surveyor/Engineer:

Address: Phone number:

Outstanding fees on property \* Existing violations at site\*

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Project Name                                | <input checked="" type="checkbox"/> Property Owner's Name and Address |
| <input checked="" type="checkbox"/> Surveyor and/or Engineer's Name and Address | <input checked="" type="checkbox"/> Date                              |
| <input checked="" type="checkbox"/> Property Tax Map Number(s)                  | <input checked="" type="checkbox"/> Scale                             |
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| <input checked="" type="checkbox"/> Proposed Lot Areas                          | <input checked="" type="checkbox"/> Front, Side, and Rear Setbacks    |
| <input checked="" type="checkbox"/> Horizontal Datum and Date                   | <input checked="" type="checkbox"/> North Arrow                       |
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| <input type="checkbox"/> Map Numbers of Adjoining Properties                    | <input type="checkbox"/> Zoning of Adjoining Property Owners          |

|                                     |   |                                     |  |
|-------------------------------------|---|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Flood Map Panel and Zone                        | <input checked="" type="checkbox"/> | Wetlands Note and/or Delineation                 |
| <input checked="" type="checkbox"/> | Streams and Water Courses                       | <input checked="" type="checkbox"/> | Single Trees with a Diameter of 6 inches or more |
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| <input checked="" type="checkbox"/> | Existing and Proposed Dedicated Right-of-Way    | <input checked="" type="checkbox"/> | Existing and Proposed Open Space                 |
| <input type="checkbox"/>            | Proposed Building Type and Building Material    | <input type="checkbox"/>            |  |

|                    |
|--------------------|
| <b>REMARKS:</b>    |
|                    |
|                    |
| <b>CONDITIONS:</b> |
|                    |
|                    |

- 1) \*NO APPLICATION WILL BE ACCEPTED UNLESS ALL TAXES, ASSESSMENTS, WATER, SEWER, ELECTRIC, TRASH CHARGES OR ANY OTHER FEES DUE THE TOWN, ARE PAID AND IN GOOD STANDING.
  
- 2) THE FINAL PLAT AND OTHER DOCUMENTS AS SPECIFIED IN ARTICLE 5 OF THE LAND SUBDIVISION REGULATIONS SHALL BE PREPARED BY THE SUBDIVIDER IN ACCORDANCE WITH THE GENERAL REQUIREMENTS AND DESIGN STANDARDS SPECIFIED IN ARTICLES 6 AND 7 OF THE LAND SUBDIVISION REQUIREMENTS AND SHALL BE SUBMITTED TO THE COMMISSION WITHIN TWELVE (12) MONTHS AFTER APPROVAL OF THE PRELIMINARY LAYOUT; OTHERWISE, SAID APPROVAL SHALL BECOME NULL AND VOID UNLESS AN EXTENSION OF TIME IS APPLIED FOR, AND GRANTED BY THE COMMISSION WITHIN THE SAID TWELVE (12) MONTH PERIOD.

## Sarah Cahall

---

**From:** Ring Lardner <rw@dbfinc.com>  
**Sent:** Thursday, June 11, 2020 7:10 AM  
**To:** Sarah Cahall  
**Cc:** Katie Scanlon; Janet Lardner  
**Subject:** RE: Preliminary Site plan review- King Commercial Property Lot 4  
**Attachments:** Lot 4 King Commercial - Preliminary Site Plan.pdf

Sarah,

Good Morning! Please find attached our revised preliminary plan per the comments below and our responses in red. Please let me know if you need us to drop off hard copies of the plans.

Thanks,  
Ring



**Ring W. Lardner, P.E. | Principal | Davis, Bowen & Friedel Inc.**

Email: [rw@dbfinc.com](mailto:rw@dbfinc.com) | Office: 302-424-1441 | Cell: 302-632-9779 | [www.dbfinc.com](http://www.dbfinc.com)



**From:** Sarah Cahall <sarah.cahall@townofcamden.com>  
**Sent:** Monday, June 8, 2020 8:30 AM  
**To:** Ring Lardner <rw@dbfinc.com>  
**Subject:** Preliminary Site plan review- King Commercial Property Lot 4

Good Morning Ring,

Per the Towns Engineer the Attached is the associated documents that need to be completed in accordance with the Town of Camden Site plan checklist.

- Please provide the tax map number for the future McDonalds parcel (Lot 3) to the north of this site. **Added to PL-02, PL-04 and PL-05**
- Provide names and zoning of adjoining property owners. **Added to PL-02, PL-04 and PL-05**
- Provide the proposed building type and building material in the site data. **We added the building material to the site data. We provided elevation views that shows the building material.**
- Provide location and size of existing storm drains. **The information was added to PL-02 and PL-04.**
- Provide approximate location and size of proposed storm drains. **The information was added to PL-02 and PL-04.**
- Provide locations of any utility easements for the proposed water and sewer infrastructure if any. If not provide a note to this effect in the General Notes. **A note was added to the general notes that additional easements are not needed.**

I will be sending the Planning Commission their packet on Thursday for 6/17/20 meeting.

# KING COMMERCIAL - LOT #4

## PRELIMINARY SITE PLAN

### TOWN OF CAMDEN

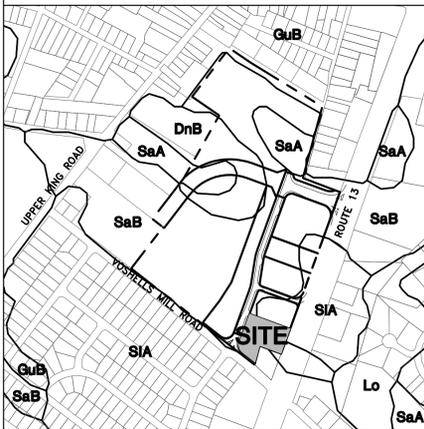
### KENT COUNTY, DELAWARE

### MAY 2020

### DBF PROJECT #3532A001

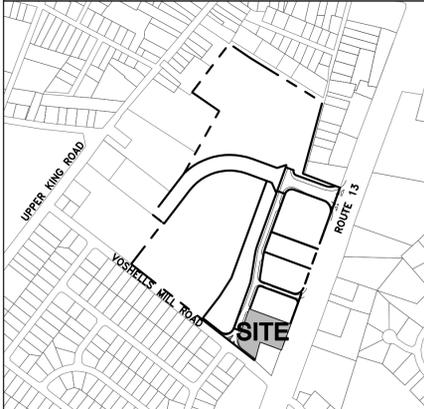
| SHEET INDEX                        |       |
|------------------------------------|-------|
| PRELIMINARY - TITLE SHEET          | PL-01 |
| PRELIMINARY - SITE PLAN            | PL-02 |
| PRELIMINARY - CONSTRUCTION DETAILS | PL-03 |
| PRELIMINARY - UTILITY PLAN         | PL-04 |
| PRELIMINARY - LANDSCAPE PLAN       | PL-05 |

**LOCATION MAP** SCALE: 1" = 1000'

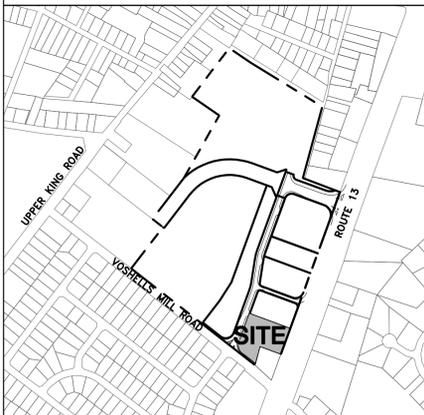


**SOILS MAP** SCALE: 1" = 600'

SoB SASSAFRAS LOAM, 2-5% SLOPES (B)  
SIA SASSAFRAS LOAM, 0-2% SLOPES (B)



**FLOODPLAIN MAP** SCALE: 1" = 600'  
FEMA PANEL #10001C0231H DATED: MAY 5, 2003



**NWI WETLANDS MAP** SCALE: 1" = 600'

### DATA COLUMN

TAX MAP NUMBER: NM-02-94.00-01-15.03  
 DATUM: NAVD 88  
 VERTICAL: NAD 83 (DE STATE PLANE)  
 HORIZONTAL:  
 BENCHMARK: IRON CAP & ROD SET: 38.20'  
 LOCAL LAND USE AGENCY: TOWN OF CAMDEN  
 EXISTING ZONING: C-2  
 PROPOSED ZONING: C-2  
 EXISTING USE: VACANT  
 PROPOSED USE: COMMERCIAL  
 BUILDING MATERIAL: WOOD FRAME CONSTRUCTION  
 BUILDING TYPE: RETAIL AND FAST FOOD

**C-2 REQUIREMENTS**

|                              | REQUIRED             | PROPOSED                  |
|------------------------------|----------------------|---------------------------|
| MINIMUM LOT SIZE:            | 9,000 SQFT.          | 56,401 SQFT.              |
| MINIMUM LOT FRONTAGE:        | 60 FT.               | 100 FT.                   |
| MINIMUM LOT DEPTH:           | 100 FT.              | 305 FT.                   |
| FRONT YARD SETBACK:          | 40 FT.               | 40 FT.                    |
| SIDE YARD SETBACK:           | 10 FT.               | 20 FT.                    |
| INTERIOR SIDE YARD SETBACK:  | 15 FT.               | 15 FT.                    |
| REAR YARD SETBACK:           | 20 FT.               | 20 FT.                    |
| BUILDING HEIGHT:             | 45 FT. (3.5 STORIES) | (1 STORY), MAXIMUM 35 FT. |
| MAXIMUM BUILDING COVERAGE:   | 40%                  | 11% (5,585 SQFT)          |
| MAXIMUM IMPERVIOUS COVERAGE: | 80%                  | 90%                       |

**PARKING**

REQUIRED:  
 - RESTAURANT OR SIMILAR PLACE DISPENSING FOOD, DRINK OR REFRESHMENTS:  
 EIGHT (8) PARKING SPACES FOR EACH 1,000 SQFT OF GROSS FLOOR AREA  
 PLUS ONE (1) SPACE FOR EACH EMPLOYEE. RESTAURANT WITH A DRIVE THROUGH  
 OR FAST FOOD RESTAURANT: A MINIMUM OF 15 SPACES.

PROVIDED: 62 SPACES

FLOOD HAZARD MAP:  
 THE SITE IS NOT LOCATED IN THE FEMA  
 100-YR FLOOD PLAIN PER FEMA MAP #10001C0231H,  
 DATED MAY 5, 2003.

WETLANDS:  
 WETLANDS DO NOT EXIST ON SITE

PROPOSED DISCHARGE LOCATION:  
 INFILTRATION BASIN 1 CONSTRUCTED AS PART OF  
 KING COMMERCIAL DEVELOPMENT PROJECT

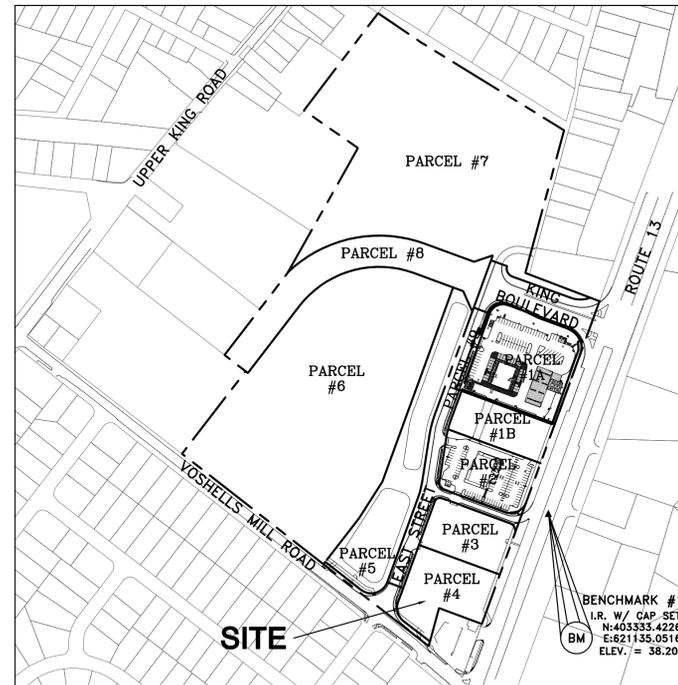
UTILITIES:  
 SANITARY SEWER: KENT COUNTY DEPARTMENT OF PUBLIC WORKS  
 WATER SUPPLY: CAMDEN/WYOMING SEWER AND WATER AUTHORITY

POSTED SPEED LIMITS:  
 VOSHELL MILL ROAD 35 MPH  
 ROUTE 13 50 MPH

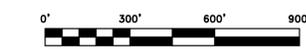
STATE STRATEGIES INVESTMENT LEVEL: LEVEL 1

PROXIMITY TO TRANSPORTATION  
 IMPROVEMENT DISTRICT: NONE  
 OWNER/DEVELOPER: CARL P. KING REAL ESTATE, LLC.  
 27690 STERLING BLVD.  
 MILLSBORO, DE 19966  
 POC: BRUCE KING

ENGINEER/SURVEYOR: DAVIS, BOWEN & FRIEDEL INC.  
 1 PARK AVE  
 MILFORD, DE 19963  
 302-424-1441  
 POC: RING W. LARDNER P.E.



**INSET MAP**  
1" = 300'



### GENERAL NOTES:

- HORIZONTAL AND VERTICAL CONTROL SURVEY BY DAVIS, BOWEN AND FRIEDEL, INC. OF SALISBURY MARYLAND. VERTICAL/HORIZONTAL DATUM - N.A.V.D. 88 / NAD 83 RESPECTIVELY.
- EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS, INCLUDING TELEPHONE, ELECTRIC, CABLE TV, GAS, TRAFFIC, SIGNAL, WATER, SEWER, FORCE MAINS AND STORM DRAINAGE ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. NO GUARANTEE IS MADE OR IMPLIED REGARDING THE ACCURACY OR COMPLETENESS THEREOF. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION, DEPTH, SIZE AND MATERIAL OF ALL UNDERGROUND UTILITIES TO HIS OWN SATISFACTION BEFORE BEGINNING ANY EXCAVATION OR PIPE LAYING. THE COUNTY, OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. IF THE CONTRACTOR RELIES ON SAID INFORMATION, HE DOES SO AT HIS OWN RISK. THE GIVING OF THE INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO SUPPORT AND PROTECT ALL SHOWN OR NOT SHOWN EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITIES BE DAMAGED BY THE CONTRACTOR, THEN THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE COUNTY'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATION AND TEST PIT EXISTING UTILITIES AS REQUIRED.
- UPON COMPLETION OF THE PROJECT, THE OWNER WILL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE AND MANAGEMENT OF ALL OPEN SPACE AREAS.
- UPON COMPLETION OF THE PROJECT, THE OWNER WILL BE RESPONSIBLE FOR PERPETUAL MAINTENANCE OF THE STORMWATER FACILITIES.
- NO UTILITY EASEMENTS ARE REQUIRED FOR THE PROPOSED WATER AND SEWER INFRASTRUCTURE.

### CAMDEN WYOMING SEWER & WATER AUTHORITY APPROVAL

CWS&WA ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

CWS&WA SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

Revisions:  
2020-06-10  
TOWN OF CAMDEN

### ENGINEER'S STATEMENT

I, RING W. LARDNER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

RING W. LARDNER, P.E. \_\_\_\_\_ DATE \_\_\_\_\_  
 DAVIS, BOWEN & FRIEDEL, INC.  
 1 PARK AVE  
 MILFORD, DELAWARE, 19963

### OWNER'S STATEMENT

I, THE UNDERSIGNED, HEREBY STATE THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THE PLAN WAS MADE AT MY DIRECTION, I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN BE RECORDED ACCORDING TO LAW.

BRUCE KING \_\_\_\_\_ DATE \_\_\_\_\_  
 CARL P. KING REAL ESTATE, LLC.  
 27690 STERLING BLVD.  
 MILLSBORO, DE 19966

DAVIS, BOWEN & FRIEDEL, INC.  
 ARCHITECTS, ENGINEERS & SURVEYORS

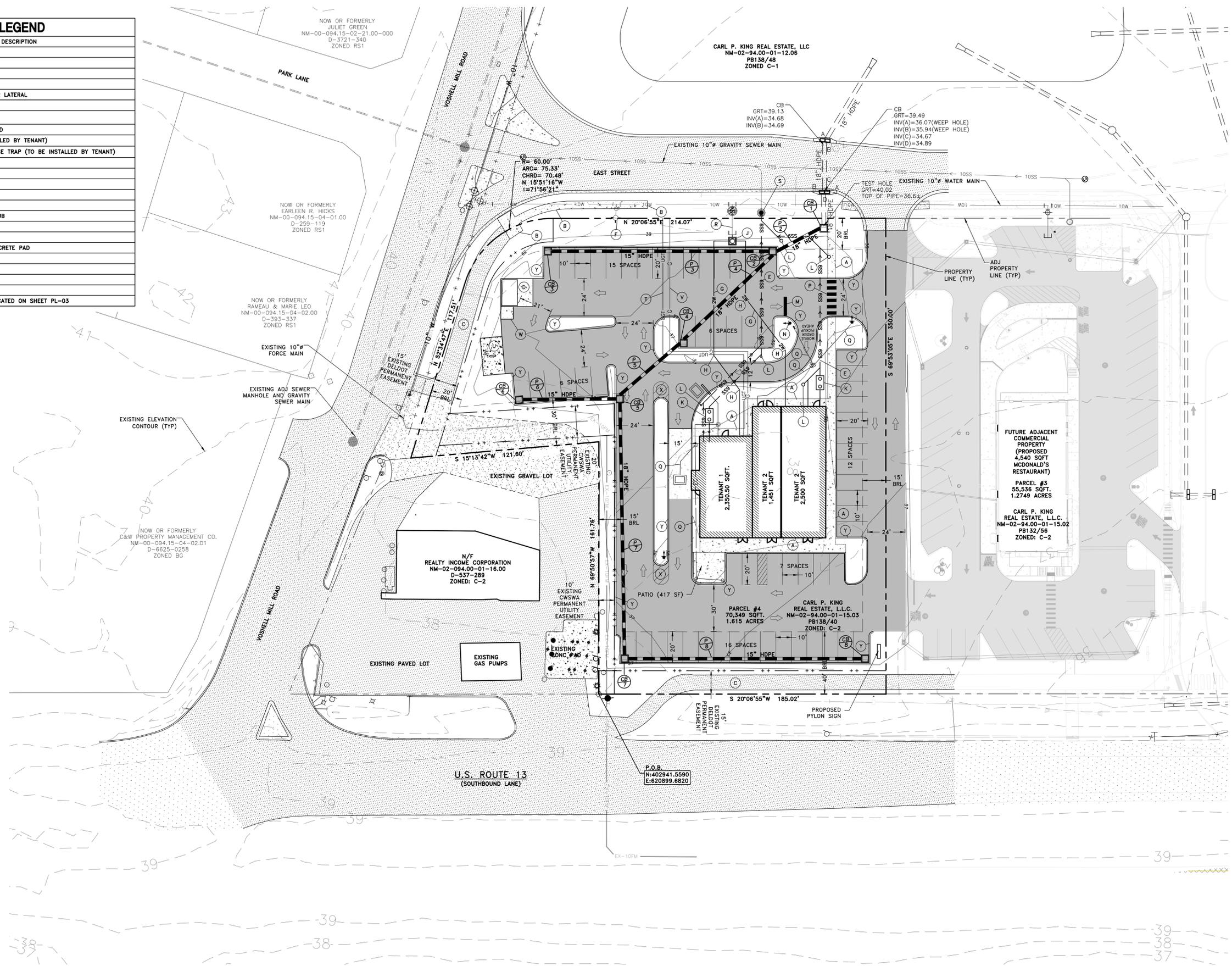
SALISBURY, MARYLAND (410) 543-9091  
 MILFORD, DELAWARE (302) 424-1441  
 EASTON, MARYLAND (410) 770-4744

PL-01

- NOTE:
1. ALL SIDEWALKS THAT INTERSECT WITH TRAVEL WAYS WILL INCLUDE AN ADA COMPLIANT RAMP.
  2. THE ACCESSWAY FROM THE ADA SPACES TO THE BUILDING AND ENTRANCES WILL BE ADA COMPLIANT.

| KEY LEGEND |   |
|------------|---|
| LABEL      | DESCRIPTION   |
| A          | PROPOSED SIDEWALK*  |
| B          | EXISTING SIDEWALK   |
| C          | EXISTING SHARED USE PATH                                      |
| D          | PROPOSED DUMPSTER AREA*                                       |
| E          | PROPOSED 6" SANITARY SEWER LATERAL                            |
| F          | EXISTING FIRE HYDRANT   |
| G          | PROPOSED 2" WATER LATERAL                                     |
| H          | PROPOSED 45° HORIZONTAL BEND                                  |
| J          | GANG METER PIT (TO BE INSTALLED BY TENANT)                    |
| K          | PROPOSED 1,500 GALLON GREASE TRAP (TO BE INSTALLED BY TENANT) |
| L          | PROPOSED SEWER CLEAN-OUT                                      |
| M          | STOP BAR*   |
| N          | STOP SIGN*  |
| P          | CROSS WALK*   |
| Q          | ELECTRICAL CONDUIT  |
| R          | EXISTING WATER VALVE AND STUB                                 |
| S          | EXISTING SEWER CLEAN-OUT                                      |
| T          | UNDERGROUND TELEPHONE LINE                                    |
| U          | HORSE HITCHING RAIL AND CONCRETE PAD                          |
| V          | UNDERGROUND GAS LINE  |
| W          | 8' X 8' GREASE STORAGE PAD                                    |
| X          | PAINTED ISLAND  |
| Y          | P.C.C. CURB TYPE 1-6  |

\*DETAILS ARE LOCATED ON SHEET PL-03



DAVIS, BOWEN & FRIEDEL, INC.  
 ARCHITECTS ENGINEERS SURVEYORS  
 1000 N. MARKET STREET  
 WILMINGTON, DELAWARE 19801  
 (302) 424-1441  
 FAX (302) 424-1441  
 EASTON, MARYLAND (410) 770-4744

**KING COMMERCIAL - LOT 4**  
**TOWN OF CAMDEN**  
**KENT COUNTY, DELAWARE**

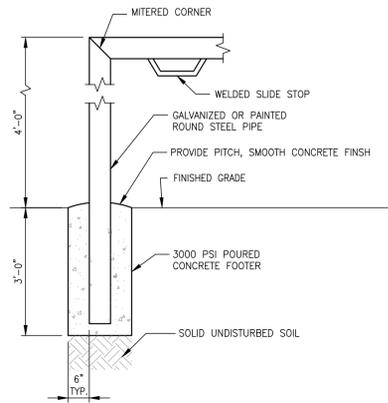
Revisions:  
 2020-06-10  
 TOWN OF CAMDEN

Date: MAY 2020  
 Scale: 1"=30'  
 Dwn.By: YGW  
 Proj.No.: 3532A001  
 Dwg.No.:

**PL-02**

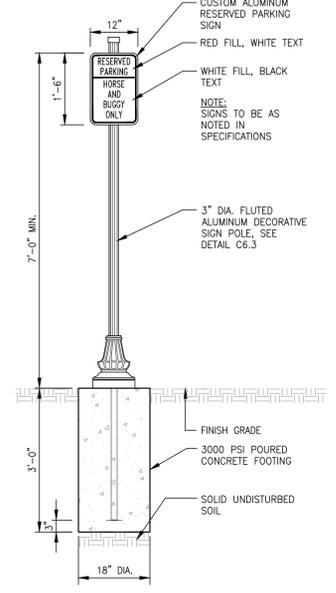
PRELIMINARY SITE PLAN





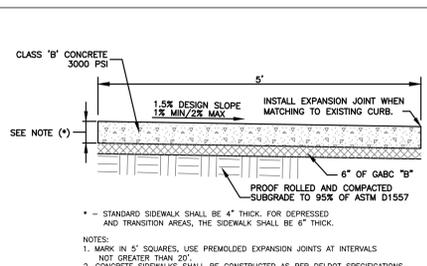
- NOTES:
1. ALL CONCRETE USED FOR HITCHING RAIL SHALL BE PORTLAND CEMENT CONCRETE MIX NO. 2. SEE PORTLAND CEMENT CONCRETE MIXTURES.
  2. SURFACE PREPARATION FOR HITCHING RAIL INCLUDES REMOVAL OF ANY INK MARKINGS BY WIPING DOWN PIPE WITH CLEAN LINT-FREE-CLOTHS SATURATED WITH DENATURED ALCOHOL, PROVIDING UNIFORM SCARIFICATION AS NECESSARY, AND WIPING OFF DUST RESIDUE.
  3. HITCHING RAIL SHALL BE GALVANIZED OR PAINTED YELLOW. PAINTING OF HITCHING RAIL TO CONSIST OF PRIMER, INTERMEDIATE AND FINISH COATS AS FOLLOWS: PRIMER - 2.5 TO 3.5 MILS TNE-M-ZINC ZINC, INTERMEDIATE - 2 TO 3 MILS HI-BUILD EPOXYLINE II, FINAL - 3 TO 4 MILS ENDURA-SHIELD. TOTAL DRY FILM THICKNESS TO BE 7.5 TO 10.5 MILS.
  4. HORSES TO BE TIED AROUND RAIL, NOT THROUGH SLIDE STOPS.

**HITCHING RAIL DETAIL**  
NOT TO SCALE

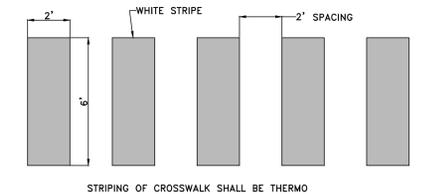


**HORSE & BUGGY PARKING SIGNAGE**  
NOT TO SCALE

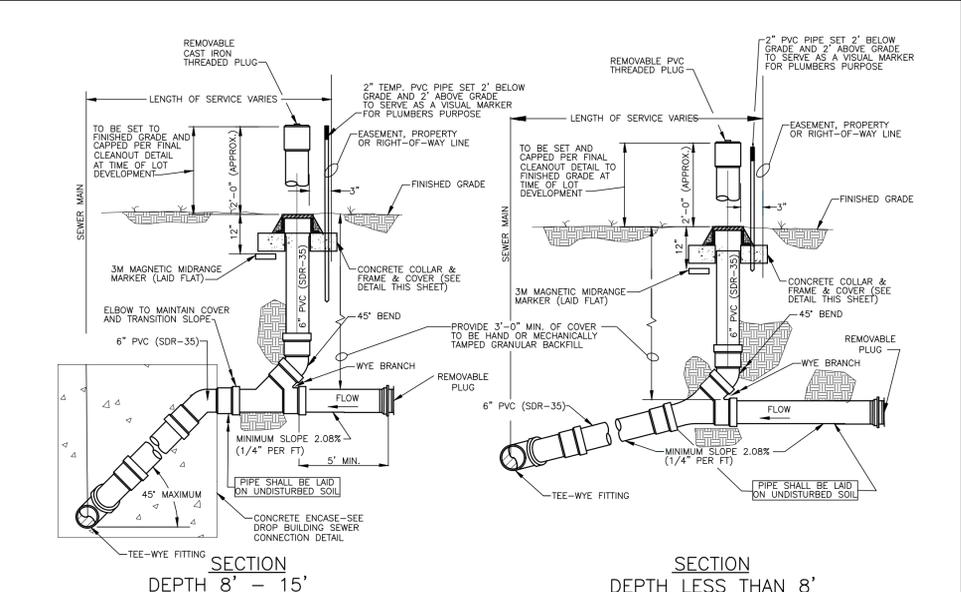
| ITEM            | LOCATION OF DETAIL  | YEAR | SECTION                    | NAME   | DESCRIPTION                                  | SHEET NUMBER(S)    |
|-----------------|---|------|----------------------------|--|--|--------------------|
| CURB            | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION II - CURB & GUTTER | P.C.C CURB AND INTEGRAL P.C.C. CURB & GUTTER | P.C.C. CURB, TYPE 1-6                        | C-1 (2017) - 1     |
| CURB RAMP       | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION II - CURB & GUTTER | CURB RAMPS                                   | CURB RAMP, TYPE 1                            | C-2 (2013) - 1     |
| DRAINAGE INLETS | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION III - DRAINAGE     | DRAINAGE INLET REFERENCE SHEET               | DRAINAGE INLET REFERENCE SHEET               | D-R (2017)         |
| DRAINAGE INLETS | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION III - DRAINAGE     | INLET BOX DETAILS                            | INLET BOX DETAIL                             | D-4 (2009)         |
| DRAINAGE INLETS | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION III - DRAINAGE     | DRAINAGE INLET DETAILS                       | DRAINAGE INLET ASSEMBLY                      | D-5 (2010) - 1     |
| DRAINAGE INLETS | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION III - DRAINAGE     | DRAINAGE INLET DETAILS                       | DRAINAGE INLET FRAME AND GRATES              | D-5 (2014) - 2     |
| DRAINAGE INLETS | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION III - DRAINAGE     | DRAINAGE INLET DETAILS                       | DRAINAGE TOP UNITS                           | D-5 (2012) - 3     |
| DRAINAGE INLETS | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION III - DRAINAGE     | DRAINAGE INLET DETAILS                       | DRAINAGE INLET COVER SLAB DETAILS            | D-5 (2010) - 4     |
| DRAINAGE INLETS | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION III - DRAINAGE     | DRAINAGE INLET DETAILS                       | BOX MANHOLE ASSEMBLY                         | D-6 (2009) - 1     |
| DRAINAGE INLETS | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION III - DRAINAGE     | DRAINAGE INLET DETAILS                       | MANHOLE, TOP UNIT, FRAME AND COVER           | D-6 (2001) - 3     |
| DRAINAGE INLETS | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION III - DRAINAGE     | DRAINAGE INLET DETAILS                       | BOX MANHOLE COVER SLAB                       | D-6 (2007) - 4     |
| BOX MANHOLE     | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION III - DRAINAGE     | MANHOLE DETAILS                              | SHARED-USE PATH AND SIDEWALK DETAILS         | M-3 (2018)         |
| SIDEWALK        | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2018 | SECTION VI - MISCELLANEOUS | SHARED-USE PATH AND SIDEWALK DETAILS         | SHARED-USE PATH AND SIDEWALK DETAILS         | T-15 (2013)        |
| BREAKAWAY POST  | DeIDOT - STANDARD CONSTRUCTION DETAILS                        | 2017 | SECTION VIII - TRAFFIC     | BREAKAWAY SIGN POST AND PIN ASSEMBLY DETAILS | BREAKAWAY SIGN POST AND PIN ASSEMBLY DETAILS |                    |
| SIGN(S)         | DELAWARE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES - DE MUTCD | 2017 | PART 2, CHAPTER 2B         | STOP SIGN                                    | STOP SIGN (R1-1), 30"x30"                    | 2B-2, 2B-9 & 2B-10 |



**SITE SIDEWALK DETAIL**  
NOT TO SCALE

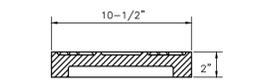


**PEDESTRIAN CROSSWALK DETAIL**  
NOT TO SCALE



**SINGLE SEWER CLEANOUT AND MAIN LINE CONNECTION DETAIL**  
NOT TO SCALE

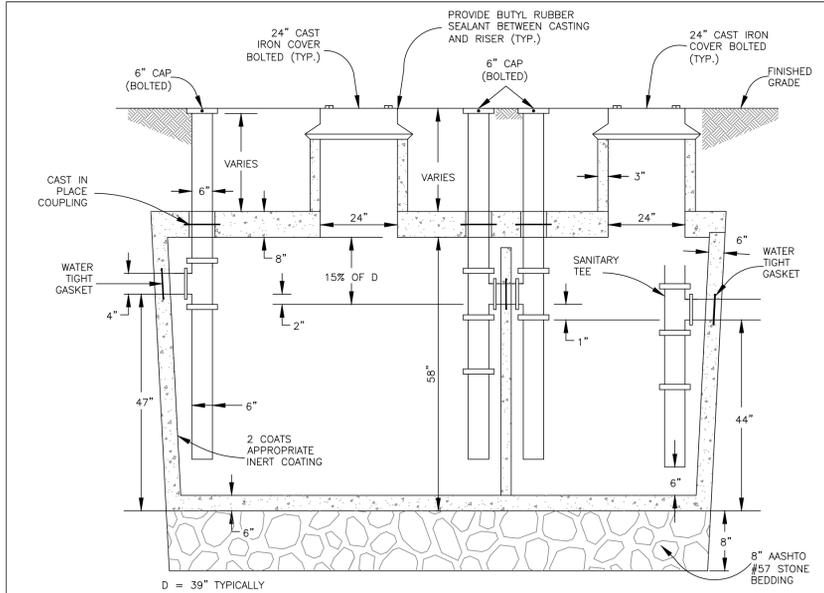
KENT COUNTY DEPARTMENT OF PUBLIC WORKS  
PLATE CO-07



**CLEANOUT FRAME & COVER**  
WT., FRAME & COVER - 85 LBS.

- NOTES:
- 1) OUTER FRAME & COVER, MACHINED ON THE BEARING SURFACE.
  - 2) MATERIAL-GRAY IRON ASTM A-48, CLASS 35B.
  - 3) ALL CASTINGS ARE OF HEAVY DUTY AND SUITABLE FOR H-20 LOADING.
  - 4) EAST JORDAN IRON WORKS, INC. MODEL 1565 WITH SOLID COVER OR EQUAL.

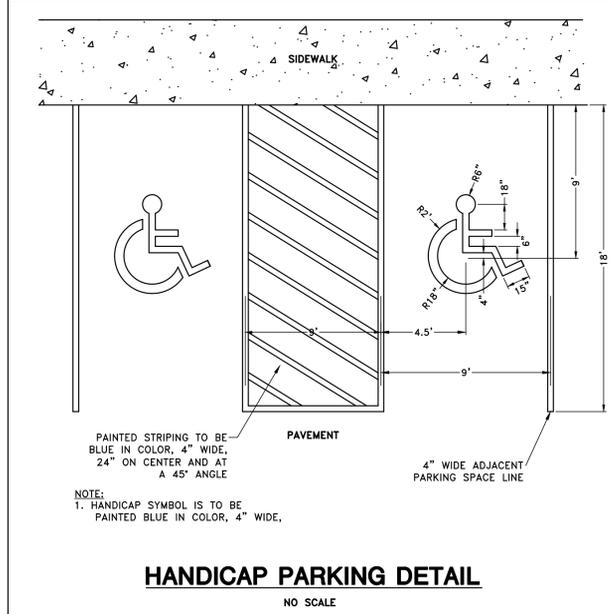
**CLEANOUT FRAME & COVER DETAIL**  
NOT TO SCALE  
KENT COUNTY DEPARTMENT of PUBLIC WORKS  
PLATE CO-03



ALL INLET AND OUTLET PIPES SHALL BE INSTALLED NO MORE THAN 6" FROM THE BOTTOM OF THE GREASE TRAP. TANK TAPERS TOP TO BOTTOM AND IS TRAPEZOIDAL IN CROSS SECTION. TANK IS 5000 PSI CONCRETE-STEEL REINFORCED (@ 28 DAYS) CONCRETE CONFORMS TO ACI 318-16-4.5.1 AND 318-16-4.5.2, ASTM A615 AND A185 -DIMENSION: 151" INTERIOR/ 163" EXTERIOR LENGTH x 72" INTERIOR/ 84" EXTERIOR WIDTH

- NOTES:
- 1) WHEN LOCATED IN DRIVEWAYS OR PAVED AREAS, GREASE TRAP TO BE DESIGNED FOR APPROPRIATE LOAD BEARING CONDITIONS. GREASE TRAP SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADING.
  - 2) ALL PIPE PENETRATIONS SHALL BE WATERTIGHT.
  - 3) GREASE TRAP SHALL BE PROVIDED WITH GAS-TIGHT MANHOLE COVERS, IN ACCORDANCE WITH TOWNSHIP STANDARD SPECIFICATIONS.
  - 4) PRECAST CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH 5000 PSI.
  - 5) EXTERIOR CONCRETE SURFACES BELOW GRADE SHALL HAVE 2 COATS OF COAL TAR EPOXY.
  - 6) SPECIFIC SEALANT DETAIL AT CONCRETE RISER TO CONCRETE VAULT INTERFACE SHALL BE WATERTIGHT. AT A MINIMUM, THE JOINT SHALL BE SEALED WITH BUTYL RUBBER SEALANT (KENT SEAL #2 OR APPROVED EQUIVALENT) AND THE EXTERIOR OF THE JOINT SHALL BE SEALED WITH NON-SHRINK GROUT IN CONFORMANCE WITH THE TOWNSHIP STANDARD GREASE TRAP DETAIL.
  - 7) TANK SHALL BE TESTED FOR WATER TIGHTNESS BY FILLING FOR 24 HRS. TO SOAK, THEN TOPPED OFF, AND THEN WATCHED FOR 24 HRS. NO DROP IN WATER IS ALLOWED.
  - 8) CAST IRON SHALL BE BOLTED TO CONCRETE WITH MASTIC TAPE (KENT SEAL OR APPROVED EQUIVALENT) SEALANT.
  - 9) MAXIMUM EARTH COVER=5.0', HS-20 LOADING.
  - 10) INLET AND OUTLET EQUIPPED WITH PIPE SEALS.

**GREASE TRAP DETAIL**  
NOT TO SCALE  
1500 GALLON (2 COMPARTMENT) TANK



**HANDICAP PARKING DETAIL**  
NO SCALE

ARCHITECTS ENGINEERS SURVEYORS  
DAVIS, BOWEN & FRIEDEL, INC.  
GALLERY WALK AND  
MILFORD, DELAWARE (302) 424-1441  
EASTON, MARYLAND (410) 770-4744

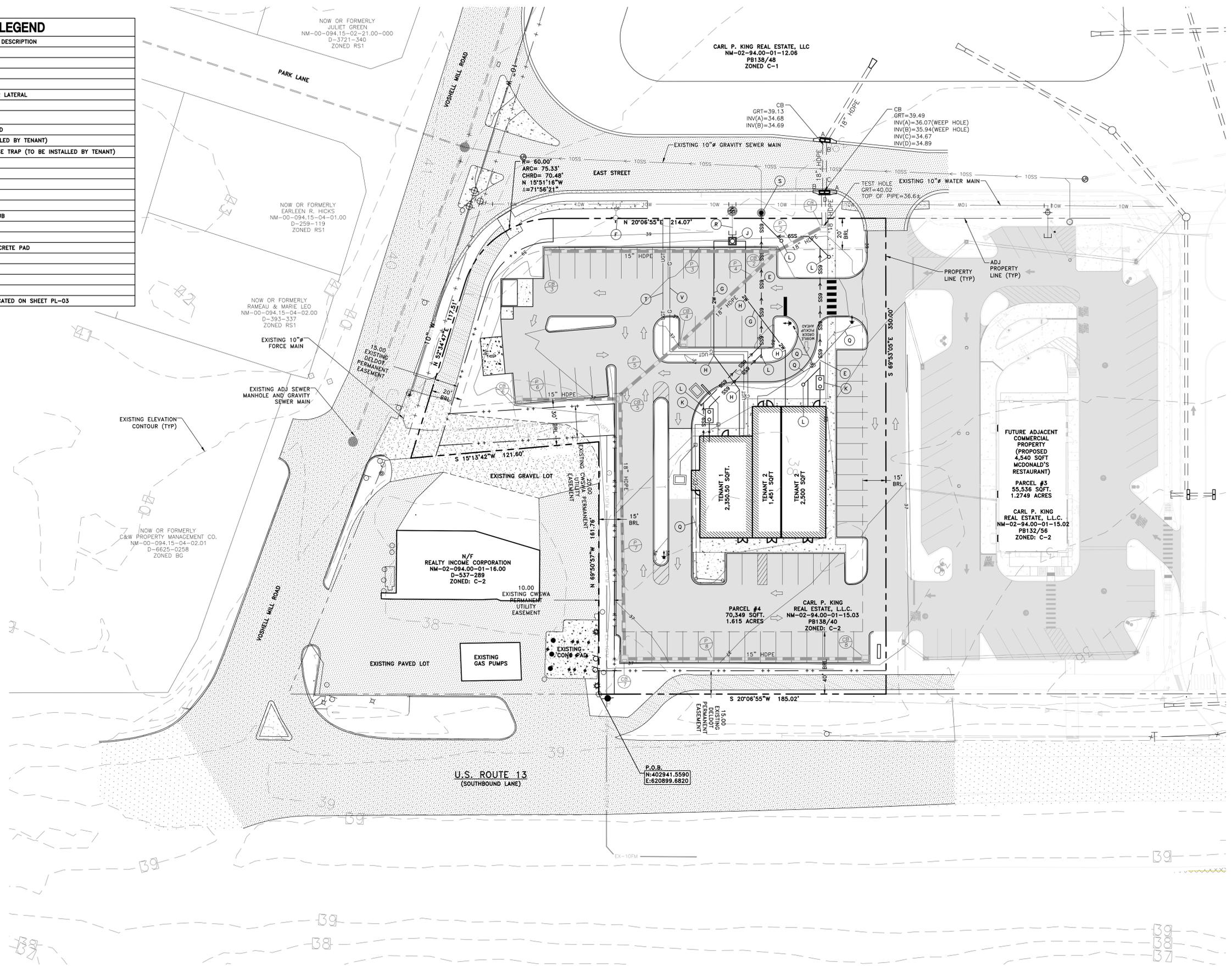
**KING COMMERCIAL - LOT 4**  
**TOWN OF CAMDEN**  
**KENT COUNTY, DELAWARE**

Revisions:  
Date: MAY 2020  
Scale: NTS  
Dwn.By: YGW  
Proj.No.: 3532A001  
Dwg.No.: PL-03

- NOTE:
1. ALL SIDEWALKS THAT INTERSECT WITH TRAVEL WAYS WILL INCLUDE AN ADA COMPLIANT RAMP.
  2. THE ACCESSWAY FROM THE ADA SPACES TO THE BUILDING AND ENTRANCES WILL BE ADA COMPLIANT.

| KEY LEGEND |   |
|------------|---|
| LABEL      | DESCRIPTION   |
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| E          | PROPOSED 6" SANITARY SEWER LATERAL                            |
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| G          | PROPOSED 2" WATER LATERAL                                     |
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| J          | GANG METER PIT (TO BE INSTALLED BY TENANT)                    |
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| W          | 8' X 8' GREASE STORAGE PAD                                    |
| X          | PAINTED ISLAND  |
| Y          | P.C.C. CURB TYPE 1-6  |

\*DETAILS ARE LOCATED ON SHEET PL-03



P:\Sagall\Group\King Commercial - Lot 4\Design\Preliminary\3532A001 - Preliminary Utility Plan.dwg, Jun 10, 2020 - 5:08pm.mila



**DAVIS, BOWEN & FRIEDEL, INC.**  
 ARCHITECTS ENGINEERS SURVEYORS  
 1000 MARKET STREET, SUITE 200  
 WILMINGTON, DELAWARE 19801  
 (302) 424-1441  
 FAX (302) 424-1441  
 (410) 770-4744

**PRELIMINARY UTILITY PLAN**

**KING COMMERCIAL - LOT 4**  
**TOWN OF CAMDEN**  
**KENT COUNTY, DELAWARE**

Revisions:  
 2020-06-10  
 TOWN OF CAMDEN

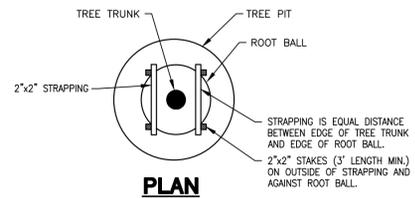
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 Dwg. No.:

**PL-04**

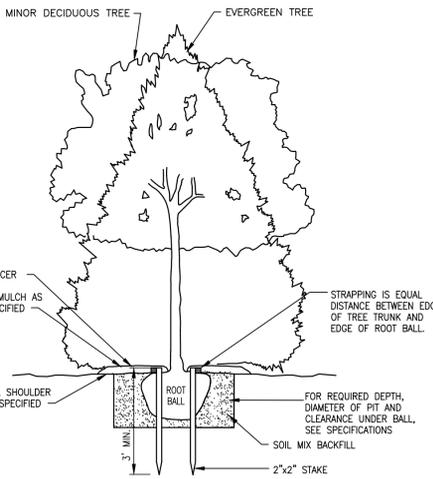
| LANDSCAPE PLANT SCHEDULE                    |     |   |                                |                        |          |
|---|-----|---|--------------------------------|------------------------|----------|
| SYMBOL                                      | KEY | BOTANICAL NAME                                | COMMON NAME                    | SIZE                   | QUANTITY |
| <b>LARGE DECIDUOUS TREES (&gt; 40' HT.)</b> |     |   |                                |                        |          |
| AR  |     | ACER rubrum 'OCTOBER GLORY'                   | OCTOBER GLORY RED MAPLE        | 3 1/2"-4" Cal., B&B    | 3        |
| BN  |     | BETULA nigra 'BNMTF'                          | DURA HEAT RIVER BIRCH          | 3 1/2"-4" Cal., B&B    | 2        |
| LT  |     | LIRIODENDRON tulipifera                       | TULIP POPLAR                   | 3 1/2"-4" Cal., B&B    | 7        |
| TC  |     | TILIA cordata 'GREENSPIRE'                    | GREENSPIRE LITTLELEAF LINDEN   | 3 1/2"-4" Cal., B&B    | 2        |
| <b>SMALL DECIDUOUS TREES (&lt; 30' HT.)</b> |     |   |                                |                        |          |
| AC  |     | AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE' | AUTUMN BRILLIANCE SERVICEBERRY | 1 1/2"-2" Cal., B&B    | 1        |
| LI  |     | LAGERSTROEMIA indica x fauriei 'NATCHEZ'      | NATCHEZ CRAPEMYRTLE            | 6-7", B&B, 3 or 5 stem | 6        |
| <b>EVERGREEN SHRUBS</b>                     |     |   |                                |                        |          |
| IC  |     | ILEX crenata 'SOFT TOUCH'                     | SOFT TOUCH COMPACT HOLLY       | 18"-24", Cont.         | 21       |
| IG  |     | ILEX glabra 'COMPACTA'                        | COMPACT INKBERRY               | 18"-24", Cont.         | 29       |
| JP  |     | JUNIPERUS x pfitzeriana 'SEA GREEN'           | SEA GREEN JUNIPER              | 18"-24", Cont.         | 33       |
| MC  |     | MORELLA cerifera                              | SOUTHERN BAYBERRY              | 24"-36", Cont.         | 6        |
| RR  |     | RHODODENDRON 'ROBLEU'                         | AUTUMN JEWEL                   | 24"-36", Cont.         | 20       |
| <b>DECIDUOUS SHRUBS</b>                     |     |   |                                |                        |          |
| SP  |     | SPIRAEA pumifolia                             | BRIDAL WREATH SPIRAEA          | 18"-24", Cont.         | 3        |
| <b>GROUNDCOVERS/GRASSES/PERENNIALS</b>      |     |   |                                |                        |          |
| LM  |     | LIRIOPE muscari 'VARIEGATA'                   | VARIEGATED LIRIOPE             | #1 Cont.               | 110      |

### GENERAL LANDSCAPE NOTES

- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER INSTALLATION IS COMPLETE AND FINAL ACCEPTANCE OF SITE WORK HAS BEEN GIVEN. AT THE END OF ONE YEAR ALL PLANT MATERIAL WHICH IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY AS BUILT LOCATION OF ALL UTILITIES.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
- ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
- EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
- ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 6'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
- THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
- LANDSCAPE BEDS NOT DEFINED BY CURBS, SIDEWALKS, WALLS OR OTHER STRUCTURES SHALL BE ENCLOSED BY ALUMINUM EDGING UNLESS OTHERWISE INDICATED.

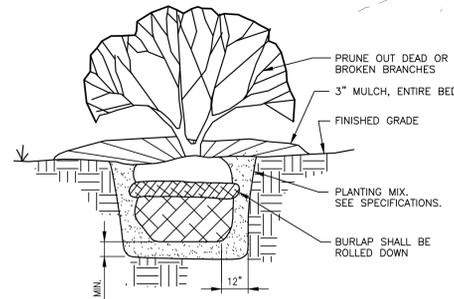


**PLAN**

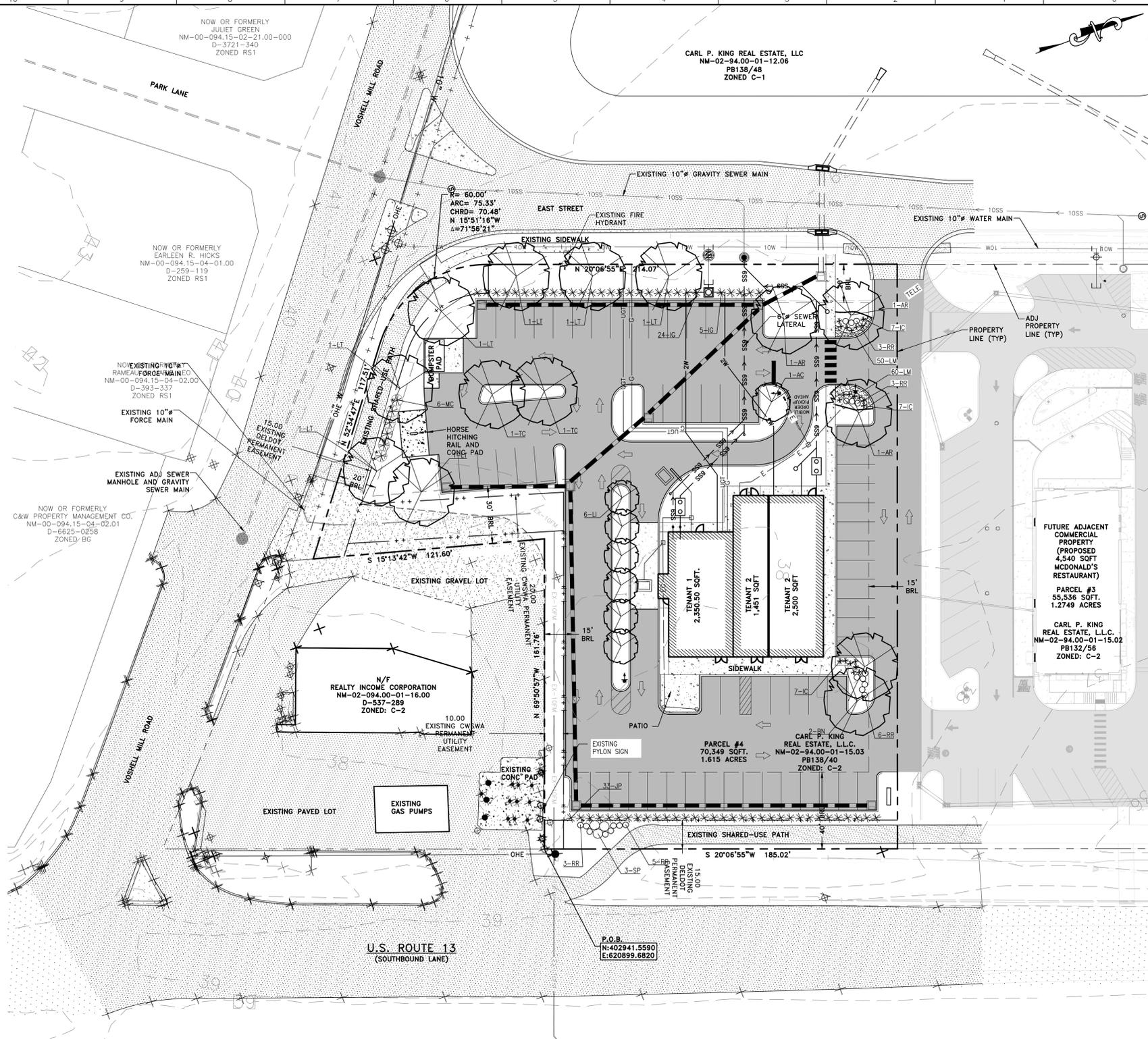


**SECTION**

**TREE STAKING DETAIL**  
NOT TO SCALE



**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**DAVIS, BOWEN & FRIEDEL, INC.**  
ARCHITECTS ENGINEERS SURVEYORS  
1000 MARKET STREET, SUITE 200  
MILFORD, DELAWARE 19967  
(302) 424-1441  
FAX (302) 424-1441  
EASTON, MARYLAND (410) 770-4744

**KING COMMERCIAL - LOT 4**  
**TOWN OF CAMDEN**  
**KENT COUNTY, DELAWARE**

Revisions:  
2020-06-10  
TOWN OF CAMDEN

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Proj.No.: 3532A001  
Dwg.No.:

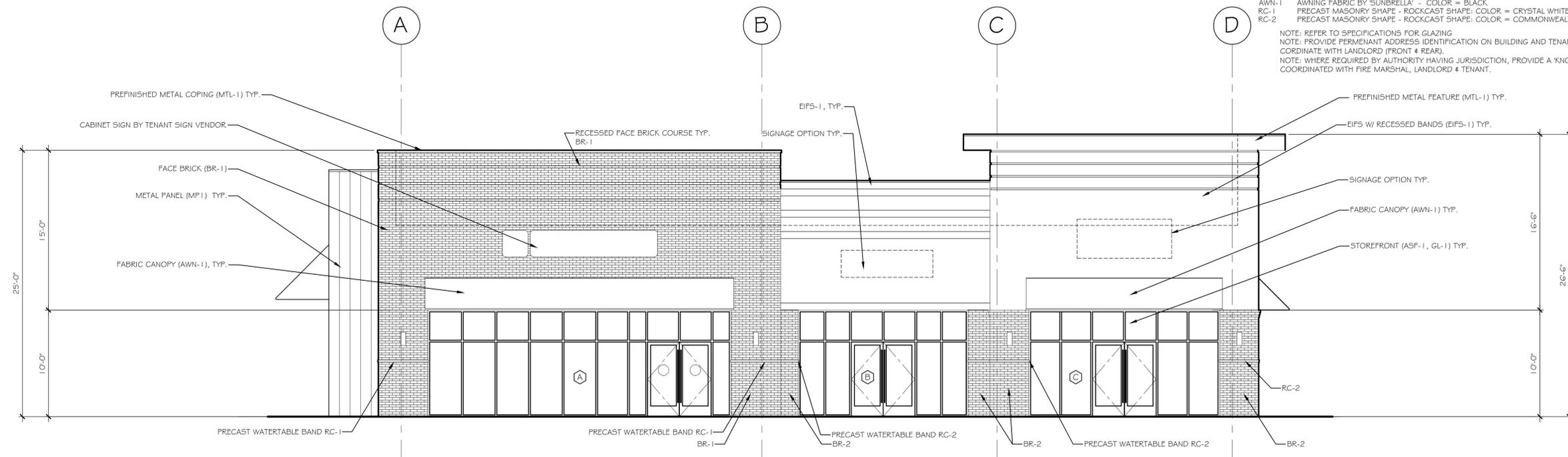
**PL-05**

| REVISIONS | BY |
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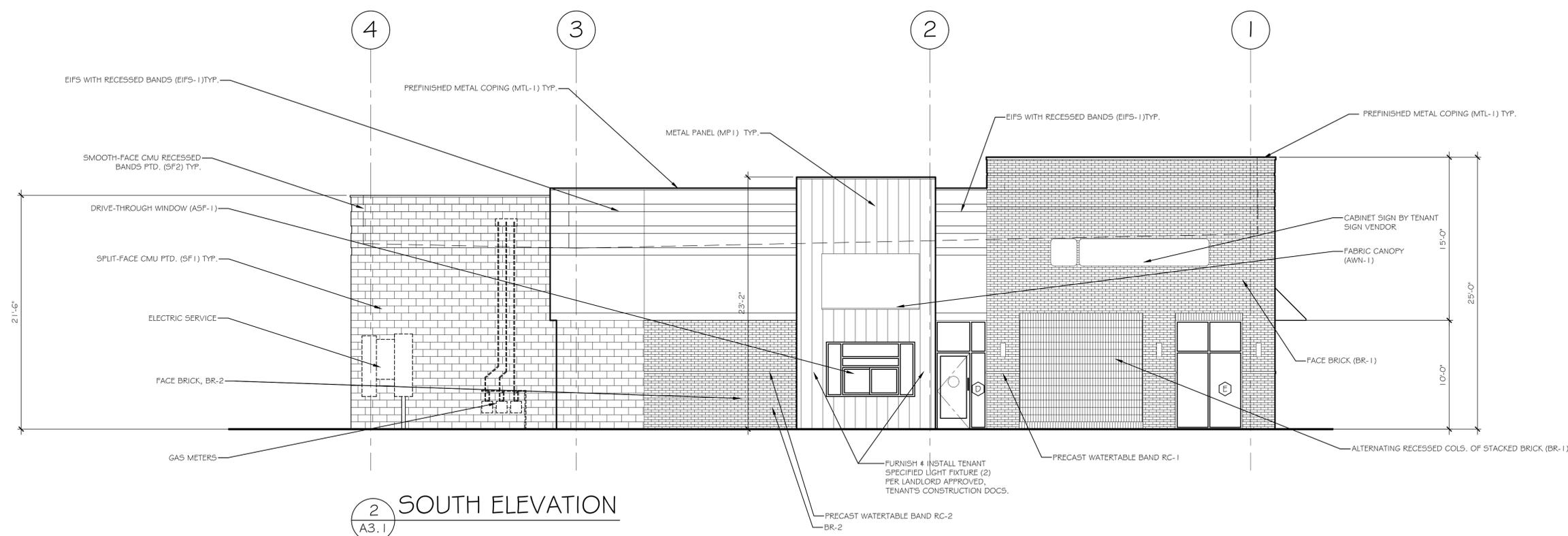
### EXTERIOR FINISH SCHEDULE

- SF1 SPLIT FACED CMU VENEER, PTD. - COLOR = PPG 1001-G "KNIGHTS ARMOR"
- SF2 SMOOTH FACED CMU VENEER, PTD. - COLOR = PPG 1001-G "KNIGHTS ARMOR"
- EIFS-1 EXTERNAL INSULATION FINISH SYSTEM (IMPACT RESISTANT PANZER 20 REINFORCING MESH REQUIRED WHERE < 8'-0" ABOVE GRADE) - DRYVIT #6 1/4ST "SMOKE SIGNAL", SANDBLAST FINISH
- MTL-1 PREFIN. METAL COPING - COLOR TO MATCH ALUM. STOREFRONT (CHARCOAL) (PROVIDE SAMPLE FOR APPROVAL)
- MP-1 METAL PANELS @ PICK-UP WINDOW - CHARCOAL TO MATCH STOREFRONT
- BR-1 BRICK - BELDEN BRICK COMPANY, ALASKA WHITE VELOUR, MORTAR COLOR = 5G5 #60A BY SOLOMON GRIND SERVICES
- BR-2 BRICK - ENDICOTT, MANGANESE IRONSPOT, VELOUR TEXTURE, MORTAR COLOR = SM#750 "SILVERSTONE" BY SPEC MIX.
- GL-1 CLEAR LOW-E 1" SAFETY GLAZING
- ASF-1 ALUMINUM STOREFRONT - PERMAFLOUR : COLOR = CHARCOAL
- AWN-1 AWNING FABRIC BY "SUNBRELLA" - COLOR = BLACK
- RC-1 PRECAST MASONRY SHAPE - ROCKCAST SHAPE: COLOR = CRYSTAL WHITE GP=A
- RC-2 PRECAST MASONRY SHAPE - ROCKCAST SHAPE: COLOR = COMMONWEALTH GP-C

NOTE: REFER TO SPECIFICATIONS FOR GLAZING  
 NOTE: PROVIDE PERMANENT ADDRESS IDENTIFICATION ON BUILDING AND TENANT SPACES PER LOCAL CODE AND FIREMARSHAL.  
 COORDINATE WITH LANDLORD (FRONT & REAR).  
 NOTE: WHERE REQUIRED BY AUTHORITY HAVING JURISDICTION, PROVIDE A 'KNOXBOX' FOR EACH TENANT. LOCATION TO BE COORDINATED WITH FIRE MARSHAL, LANDLORD & TENANT.



1 EAST ELEVATION  
A3.1



2 SOUTH ELEVATION  
A3.1

PRELIMINARY- NOT FOR CONSTRUCTION

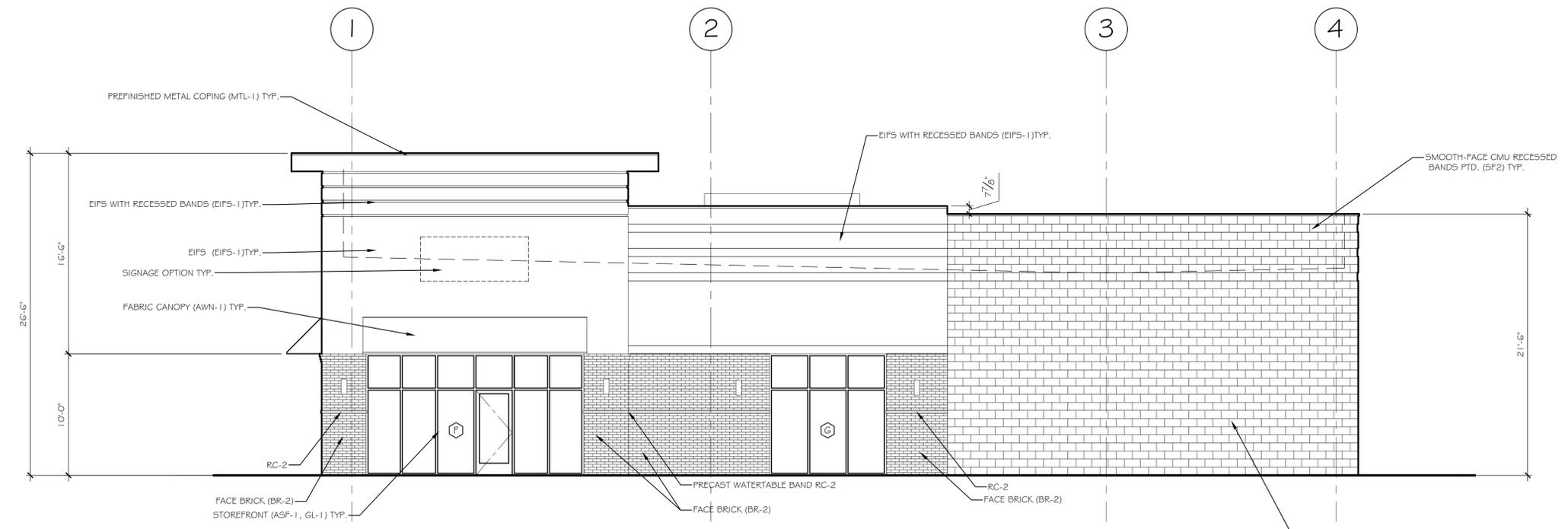
**Camden Retail**  
 MAIN STREET ARCHITECTURE, P.C.  
 24 N. BUCKINGHAM STREET, BERRYVILLE, VIRGINIA 22611 540353.1689



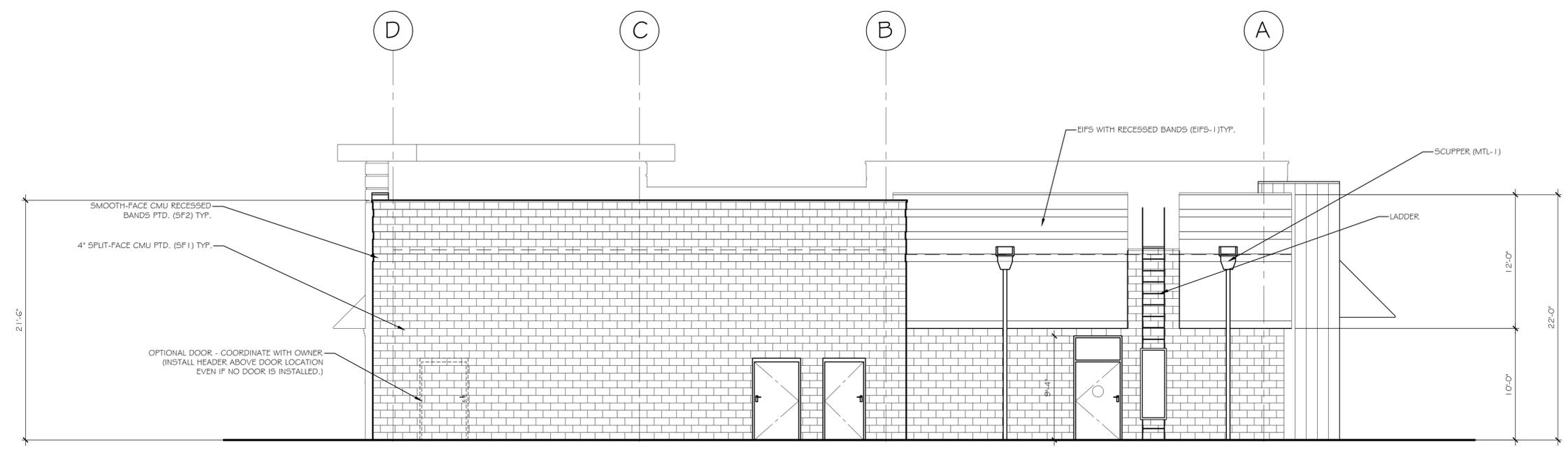
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|-------|---------------|
| DATE  | 4-15-20       |
| SCALE | 3/16" = 1'-0" |
| DRAWN | HAK           |
| JOB   | 19061         |
| SHEET |               |

A3.1

| REVISIONS | BY |
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1 NORTH ELEVATION  
A3.1



2 WEST ELEVATION  
A3.1

PRELIMINARY- NOT FOR CONSTRUCTION

**Camden Retail**  
MAIN STREET ARCHITECTURE, P.C.  
24 N. BUCKWORTH STREET, BERKLYVILLE, VIRGINIA 22611 540353.1689



|       |               |
|-------|---------------|
| DATE  | 4-15-20       |
| SCALE | 3/16" = 1'-0" |
| DRAWN | HAK           |
| JOB   | 19061         |
| SHEET | A3.2          |